

MARICOPA

Prepared For:

HOMES BY WEST BAY

**4065 Crescent Park Drive
Riverview, FL 33578
Phone: (813) 842-8191**

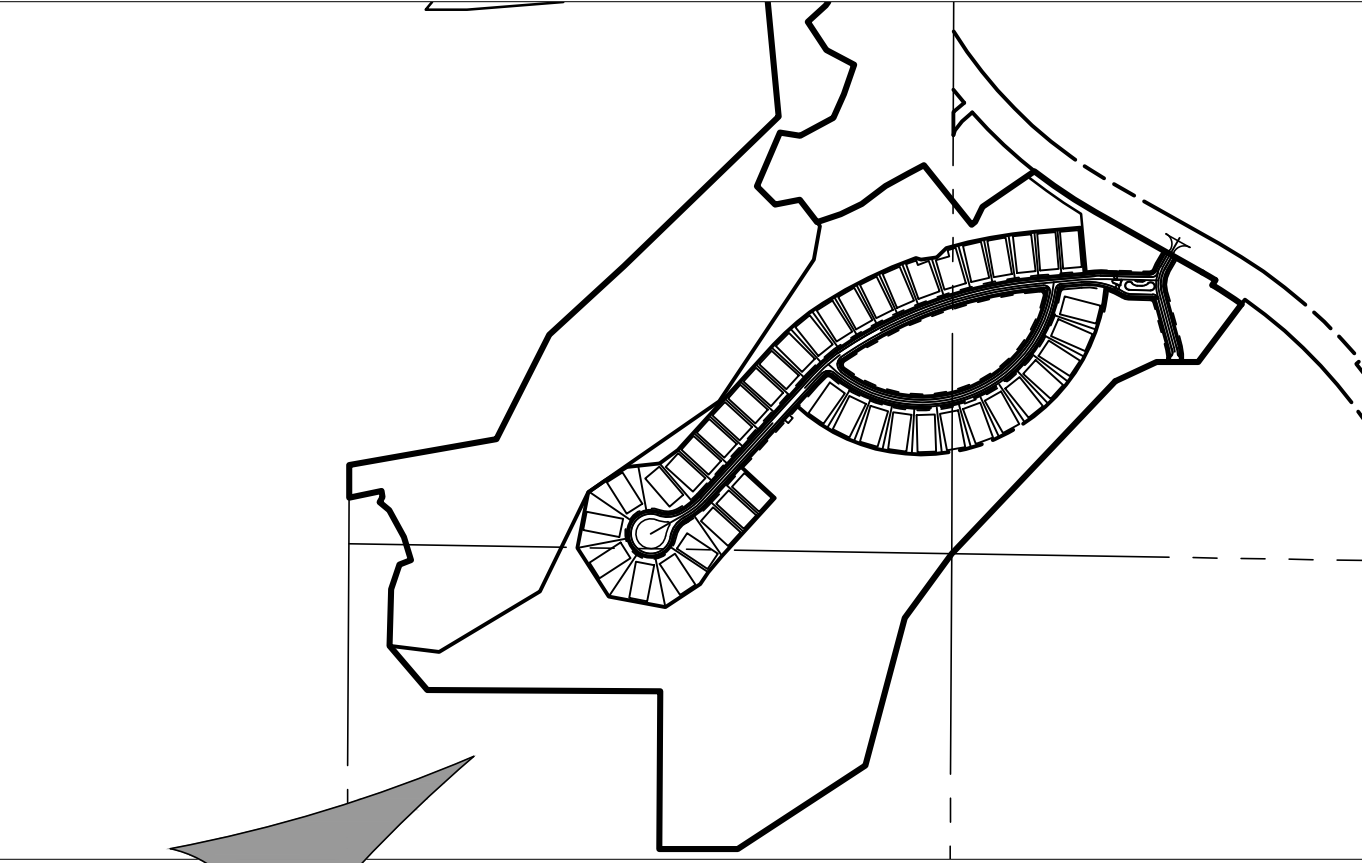
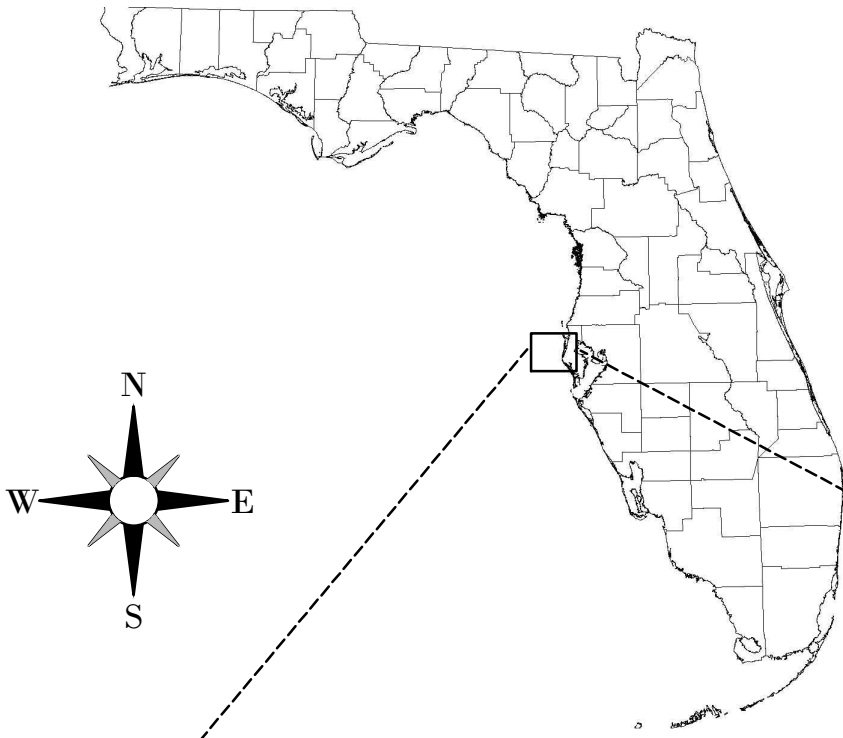
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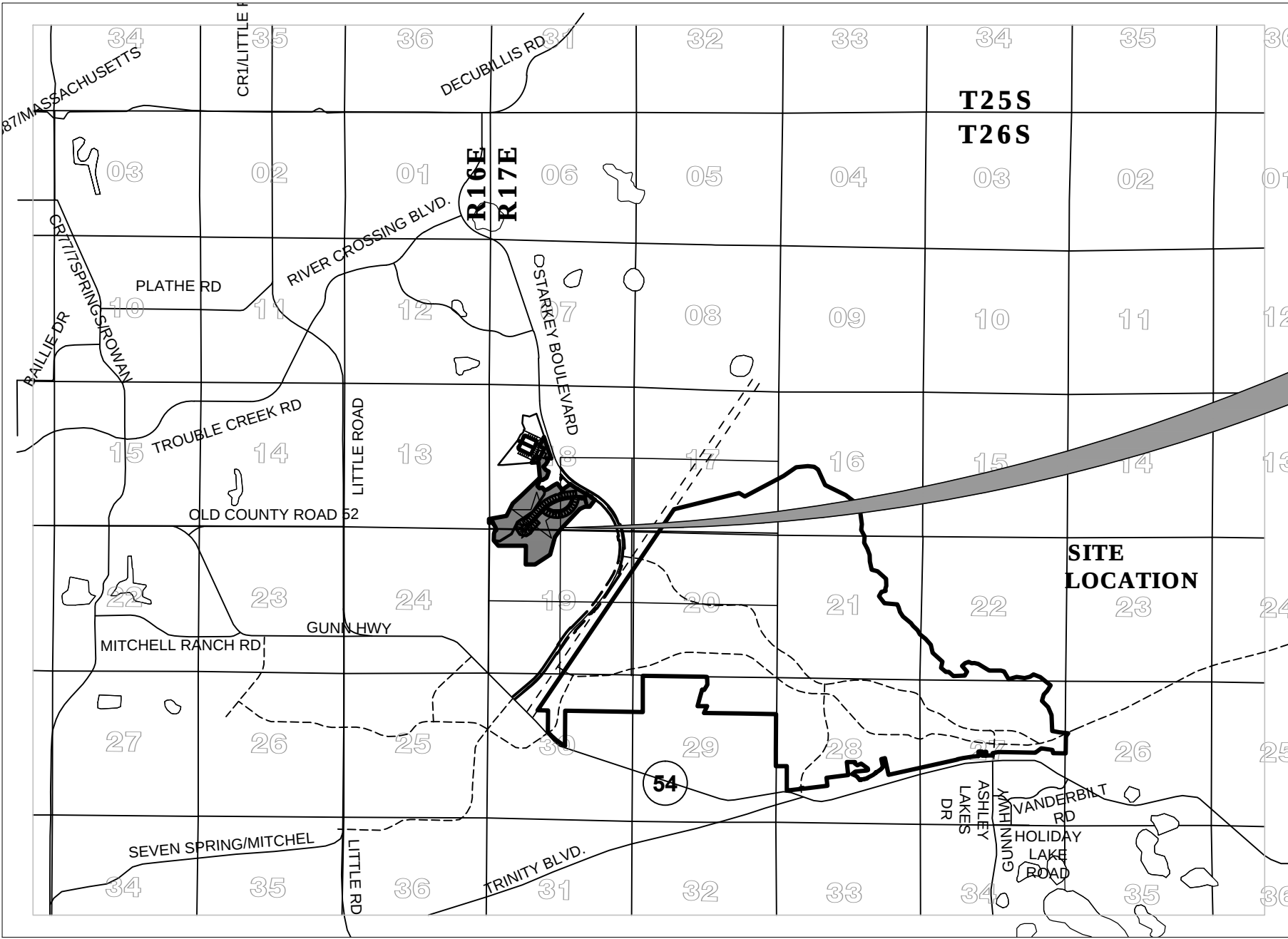
PRELIMINARY DEVELOPMENT PLAN

**SECTIONS 18 & 19 TOWNSHIP 26 SOUTH, RANGE 17 EAST
PASCO COUNTY, FLORIDA**



**SITE MAP
(NOT TO SCALE)**

legal description



LOCATION MAP
(NOT TO SCALE)

[illegible]

DEVELOPER:

HOMES BY WEST BAY
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(813) 842-8191
ATTN: WILLY NUNN, DEVELOPER
wnunn @ westbaytampa.com

OWNER:
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(813) 397-5122
brian.lamb@merituscorp.com

CIVIL ENGINEER:

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erogers@heidtdesign.com

GEOTECHNICAL ENGINEER:

MORTENSEN ENGINEERING, INC.
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6408 W. LINEBAUGH AVENUE,
SUITE 111
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(813) 908-5555
rmortensen@meitampa.com

SURVEYOR:

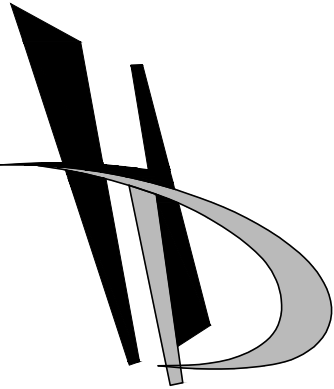
GEOPOINT SURVEYING, INC.
DAVID WILLIAMS, P.S.M.
1403 E. 5TH AVENUE
TAMPA, FL 33605
(813) 248-8888
davidw@geopointsurvey.com

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, STATE OF FLORIDA IN EFFECT AT THE TIME OF PASCO COUNTY APPROVAL, AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN EXCEPT AS NOTED ON THE PLANS. ANY DEVIATIONS NOTED ON THE PLANS SUBSTANTIALLY COMPLY WITH THE INTENT OF THE STANDARDS.

[illegible]

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ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION: NAVD 88 TO NGVD 29 = +0.85

SWFWMD	
WATER DEP	
SEWER DEP	
PARCEL I.D NO.	18-26-17-0000-00100-0000
	18-26-17-0000-00100-0087
	18-26-17-0000-00100-0086
	18-26-17-0000-00100-0028
	18-26-17-0000-00100-0029
PERMIT / FILE NUMBERS	

FLORIDA PROFESSIONAL ENGINEER

FILE:	COVER
PROJECT NO:	HBW-MC-1005

GRADING & DRAINAGE	
DESIGN BY:	STOLLINGS
DRAWN BY:	STOLLINGS

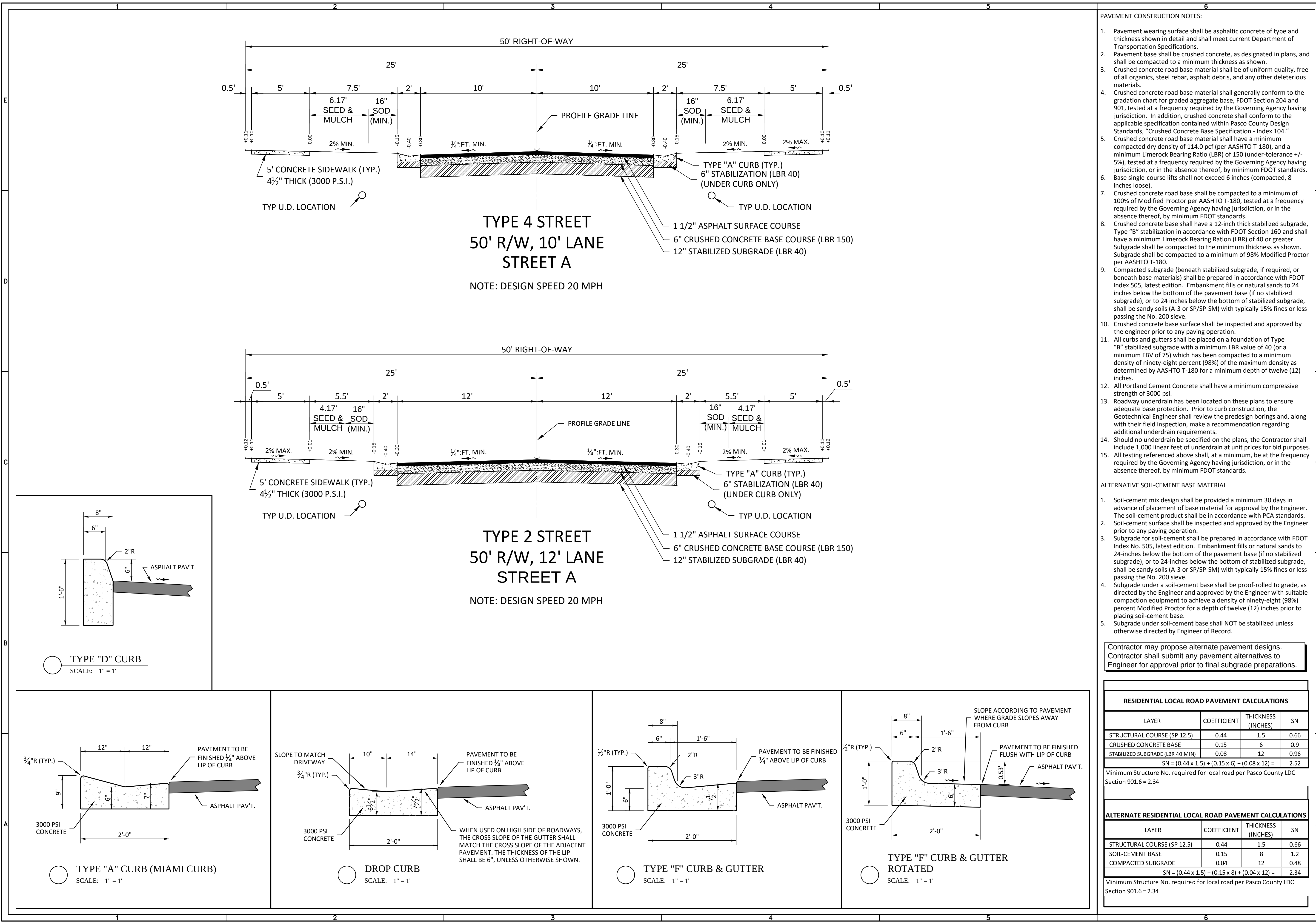
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DRAWN BY:	STOLLINGS

COVER SHEET

C-100

EDWIN J. ROGERS
DATE: _____
REGISTRATION NO. 50082

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PAVEMENT CONSTRUCTION NOTES:

- Pavement wearing surface shall be asphaltic concrete of type and thickness shown in detail and shall meet current Department of Transportation Specifications.
- Pavement base shall be crushed concrete, as designated in plans, and shall be compacted to a minimum thickness as shown.
- Crushed concrete road base material shall be of uniform quality, free of all organics, steel rebar, asphalt debris, and any other deleterious materials.
- Crushed concrete road base material shall generally conform to the gradation chart for graded aggregate base, FDOT Section 204 and 901, tested at a frequency required by the Governing Agency having jurisdiction. In addition, crushed concrete shall conform to the applicable specification contained within Pasco County Design Standards, "Crushed Concrete Base Specification - Index 104."
- Crushed concrete road base material shall have a minimum compacted dry density of 114.0 pcf (per AASHTO T-180), and a minimum Limerock Bearing Ratio (LBR) of 150 (under-tolerance +/- 5%), tested at a frequency required by the Governing Agency having jurisdiction, or in the absence thereof, by minimum FDOT standards. Base single-course lifts shall not exceed 6 inches (compacted, 8 inches loose).
- Crushed concrete road base shall be compacted to a minimum of 100% of Modified Proctor per AASHTO T-180, tested at a frequency required by the Governing Agency having jurisdiction, or in the absence thereof, by minimum FDOT standards.
- Crushed concrete base shall have a 12-inch thick stabilized subgrade, Type "B" stabilization in accordance with FDOT Section 160 and shall have a minimum Limerock Bearing Ratio (LBR) of 40 or greater. Subgrade shall be compacted to the minimum thickness as shown. Subgrade shall be compacted to a minimum of 98% Modified Proctor per AASHTO T-180.
- Compacted subgrade (beneath stabilized subgrade, if required, or beneath base materials) shall be prepared in accordance with FDOT Index 505, latest edition. Embankment fills or natural sands to 24 inches below the bottom of the pavement base (if no stabilized subgrade), or to 24 inches below the bottom of stabilized subgrade, shall be sandy soils (A-3 or SP/SP-SM) with typically 15% fines or less passing the No. 200 sieve.
- Crushed concrete base surface shall be inspected and approved by the engineer prior to any paving operation.
- All curbs and gutters shall be placed on a foundation of Type "B" stabilized subgrade with a minimum LBR value of 40 (or a minimum FBV of 75) which has been compacted to a minimum density of ninety-eight percent (98%) of the maximum density as determined by AASHTO T-180 for a minimum depth of twelve (12) inches.
- All Portland Cement Concrete shall have a minimum compressive strength of 3000 psi.
- Roadway underdrain has been located on these plans to ensure adequate base protection. Prior to curb construction, the Geotechnical Engineer shall review the predesign borings and, along with their field inspection, make a recommendation regarding additional underdrain requirements.
- Should no underdrain be specified on the plans, the Contractor shall include 1,000 linear feet of underdrain at unit prices for bid purposes.
- All testing referenced above shall, at a minimum, be at the frequency required by the Governing Agency having jurisdiction, or in the absence thereof, by minimum FDOT standards.

ALTERNATIVE SOIL-CEMENT BASE MATERIAL

- Soil-cement mix design shall be provided a minimum 30 days in advance of placement of base material for approval by the Engineer. The soil-cement product shall be in accordance with PCA standards.
- Soil-cement surface shall be inspected and approved by the Engineer prior to any paving operation.
- Subgrade for soil-cement shall be prepared in accordance with FDOT Index No. 505, latest edition. Embankment fills or natural sands to 24-inches below the bottom of the pavement base (if no stabilized subgrade), or to 24-inches below the bottom of stabilized subgrade, shall be sandy soils (A-3 or SP/SP-SM) with typically 15% fines or less passing the No. 200 sieve.
- Subgrade under a soil-cement base shall be proof-rolled to grade, as directed by the Engineer and approved by the Engineer with suitable compaction equipment to achieve a density of ninety-eight (98%) percent Modified Proctor for a depth of twelve (12) inches prior to placing soil-cement base.
- Subgrade under soil-cement base shall NOT be stabilized unless otherwise directed by Engineer of Record.

Contractor may propose alternate pavement designs. Contractor shall submit any pavement alternatives to Engineer for approval prior to final subgrade preparations.

RESIDENTIAL LOCAL ROAD PAVEMENT CALCULATIONS			
LAYER	COEFFICIENT	THICKNESS (INCHES)	SN
STRUCTURAL COURSE (SP 12.5)	0.44	1.5	0.66
CRUSHED CONCRETE BASE	0.15	6	0.9
STABILIZED SUBGRADE (LBR 40 MIN)	0.08	12	0.96
SN = (0.44 x 1.5) + (0.15 x 6) + (0.08 x 12) = 2.52			
Minimum Structure No. required for local road per Pasco County LDC Section 901.6 = 2.34			

ALTERNATE RESIDENTIAL LOCAL ROAD PAVEMENT CALCULATIONS			
LAYER	COEFFICIENT	THICKNESS (INCHES)	SN
STRUCTURAL COURSE (SP 12.5)	0.44	1.5	0.66
SOIL-CEMENT BASE	0.15	8	1.2
COMPACTED SUBGRADE	0.04	12	0.48
SN = (0.44 x 1.5) + (0.15 x 8) + (0.04 x 12) = 2.34			
Minimum Structure No. required for local road per Pasco County LDC Section 901.6 = 2.34			

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MARICOPA PRELIMINARY DEVELOPMENT PLAN

ROADWAY TYPICAL SECTION

PREPARED FOR: HOMES BY WEST BAY

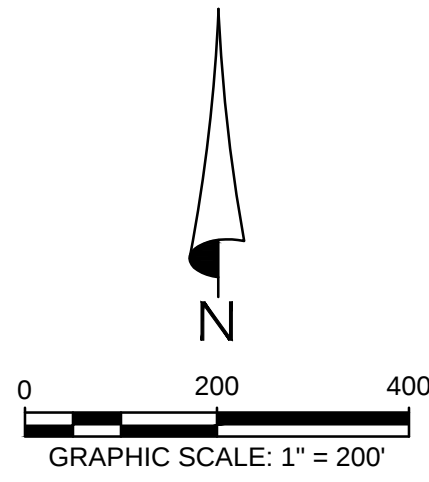
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11-12-15 <td>REVIEW SUBMITAL</td>	REVIEW SUBMITAL
1	11-12-15

PROJECT NO: HBW-MC-1005
FILE: RS-PASCO
DESIGN BY: STOLLINGS
DRAWN BY: STOLLINGS

FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS
DATE: 11-12-15
REGISTRATION NO. 50082

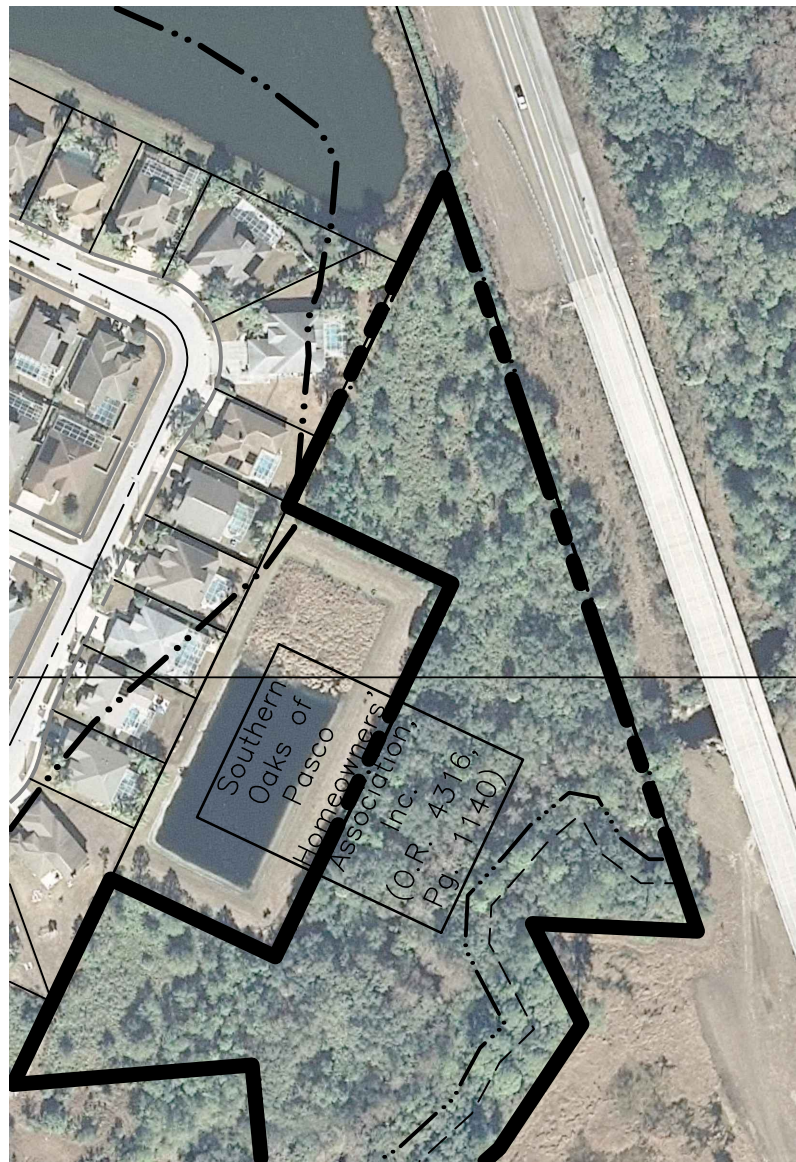
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LEGEND

- WETLAND LINE
- WETLAND CONS. AREA SETBACK / LANDWARD EXTENT OF UPLAND BUFFER
- PHASE LINE
- FEMA FLOOD LINE
- 100-YEAR BASE FLOOD ELEVATION
- PROPERTY LINE



MARICOPA PRELIMINARY DEVELOPMENT PLAN

AERIAL SITE PLAN

PREPARED FOR: HOMES BY WEST BAY

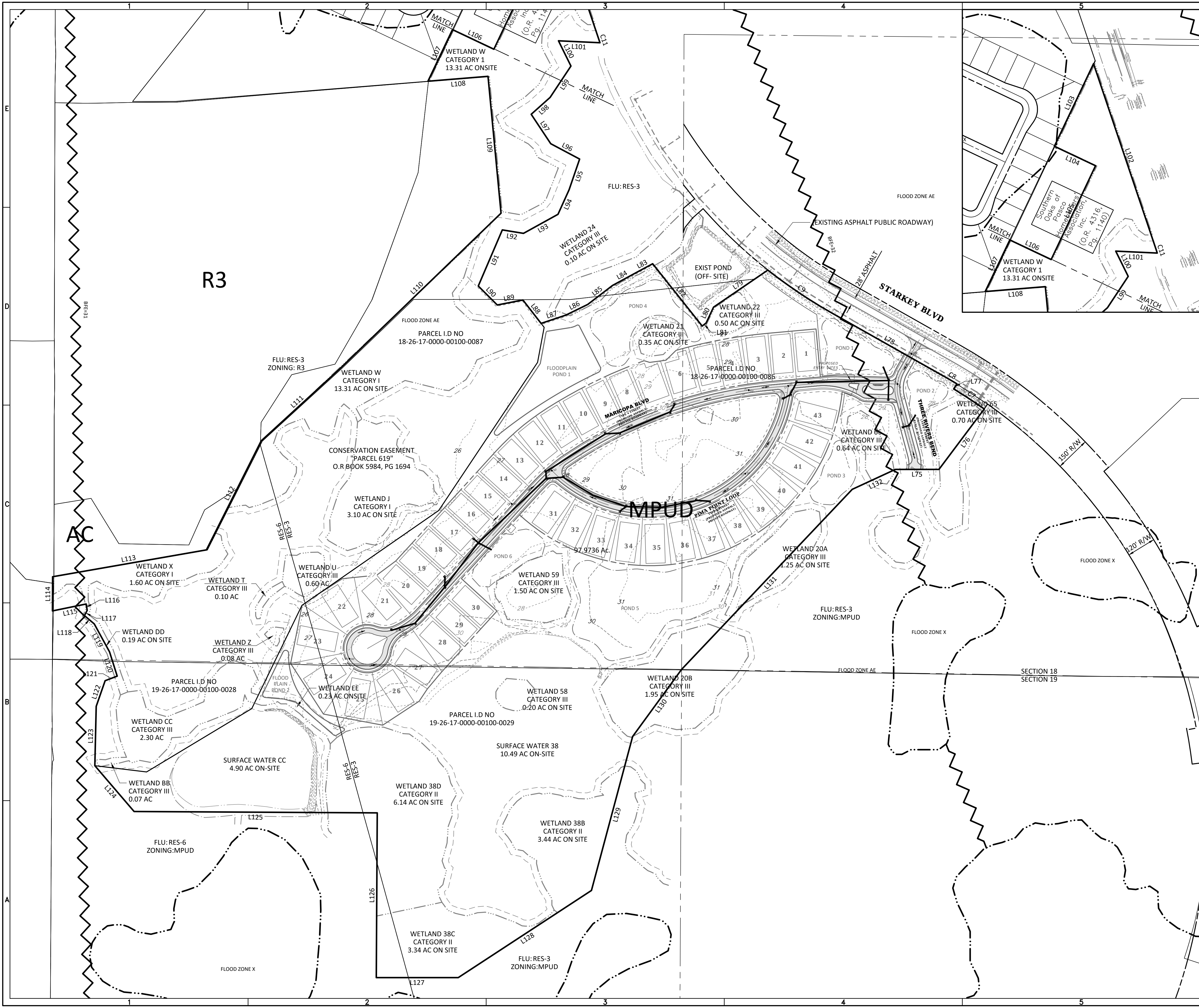
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FILE: ASP
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FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS
DATE: _____
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C-103

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0 200 400
GRAPHIC SCALE: 1" = 200'

ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.85

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LEGEND

- WETLAND LINE
- WETLAND CONS. AREA SETBACK / LANDWARD EXTENT OF UPLAND BUFFER
- PHASE LINE
- FEMA FLOOD LINE
- 100-YEAR BASE FLOOD ELEVATION
- PROPERTY LINE
- SPOT ELEVATION GROUND
- CONTOUR
- EXISTING TREE LOCATION
- EXISTING STORM PIPES
- OVERHEAD UTILITY LINE

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MARICOPA PRELIMINARY DEVELOPMENT PLAN

OVERALL SITE PLAN

PREPARED FOR: **HOMES BY WEST BAY**

NO.	DATE	DESCRIPTION
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PROJECT NO.: HBW-MC-1005

FILE: SITE

DESIGN BY: STOLLINGS

DRAWN BY: STOLLINGS

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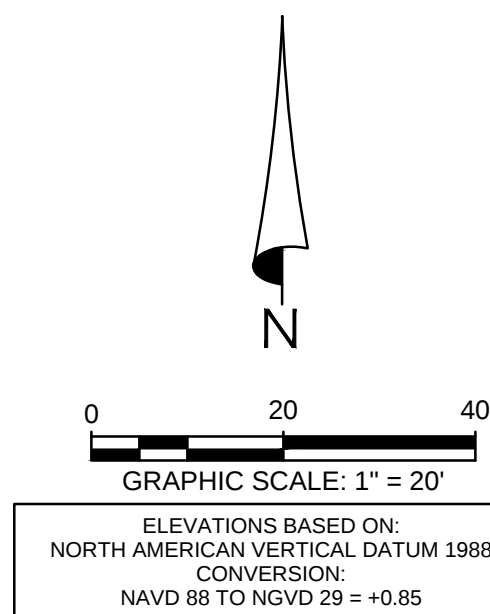
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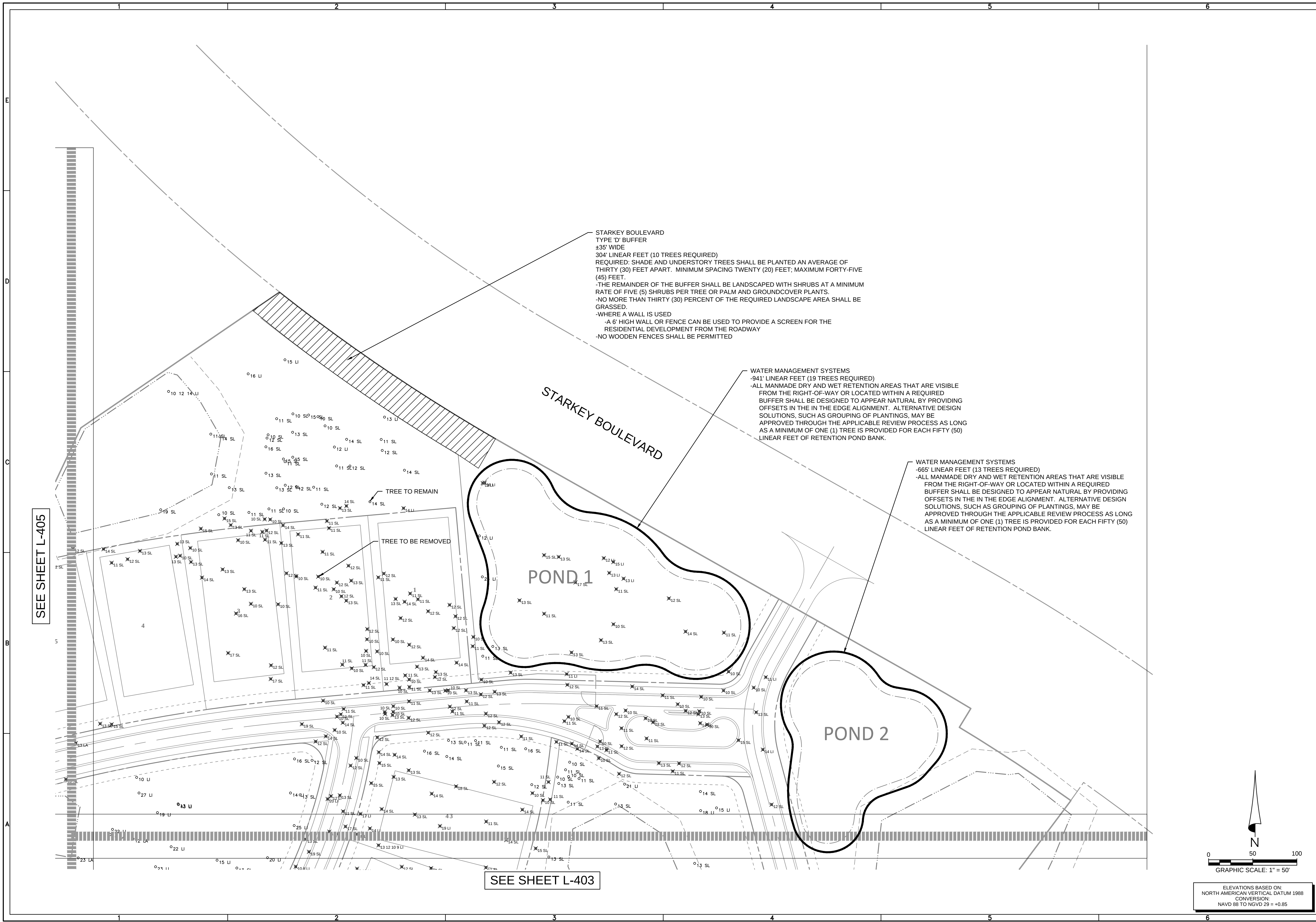
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MARICOPA
PRELIMINARY DEVELOPMENT PLAN

PDP LANDSCAPE PLAN

PREPARED FOR: HOMES BY WEST BAY

DATE	DESCRIPTION
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1	1

PROJECT NO: HBW-MC-1005

FILE: L-402

DESIGN BY: STEELE

DRAWN BY: STEELE

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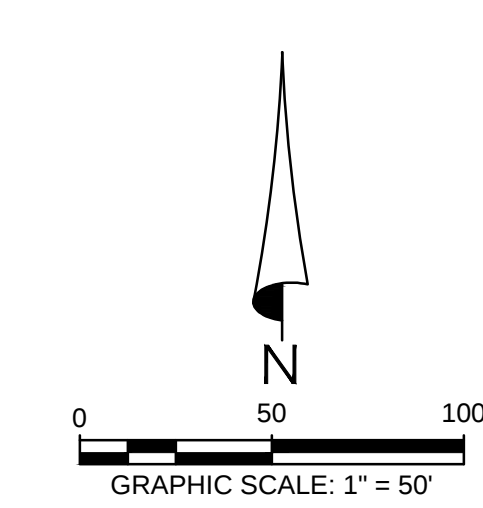
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ELEVATIONS BASED ON:
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CONVERSION:
NAVD 88 TO NGVD 29 = +0.85



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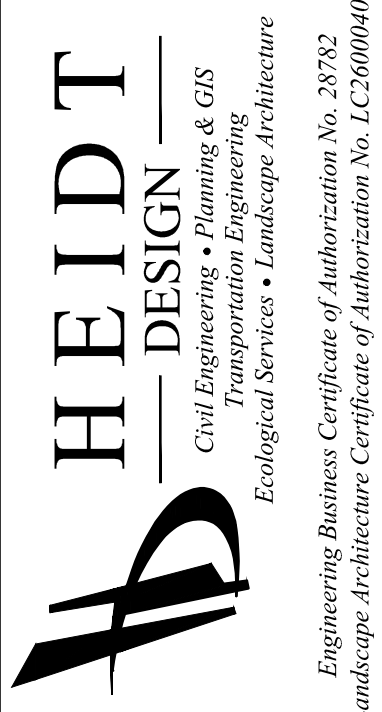
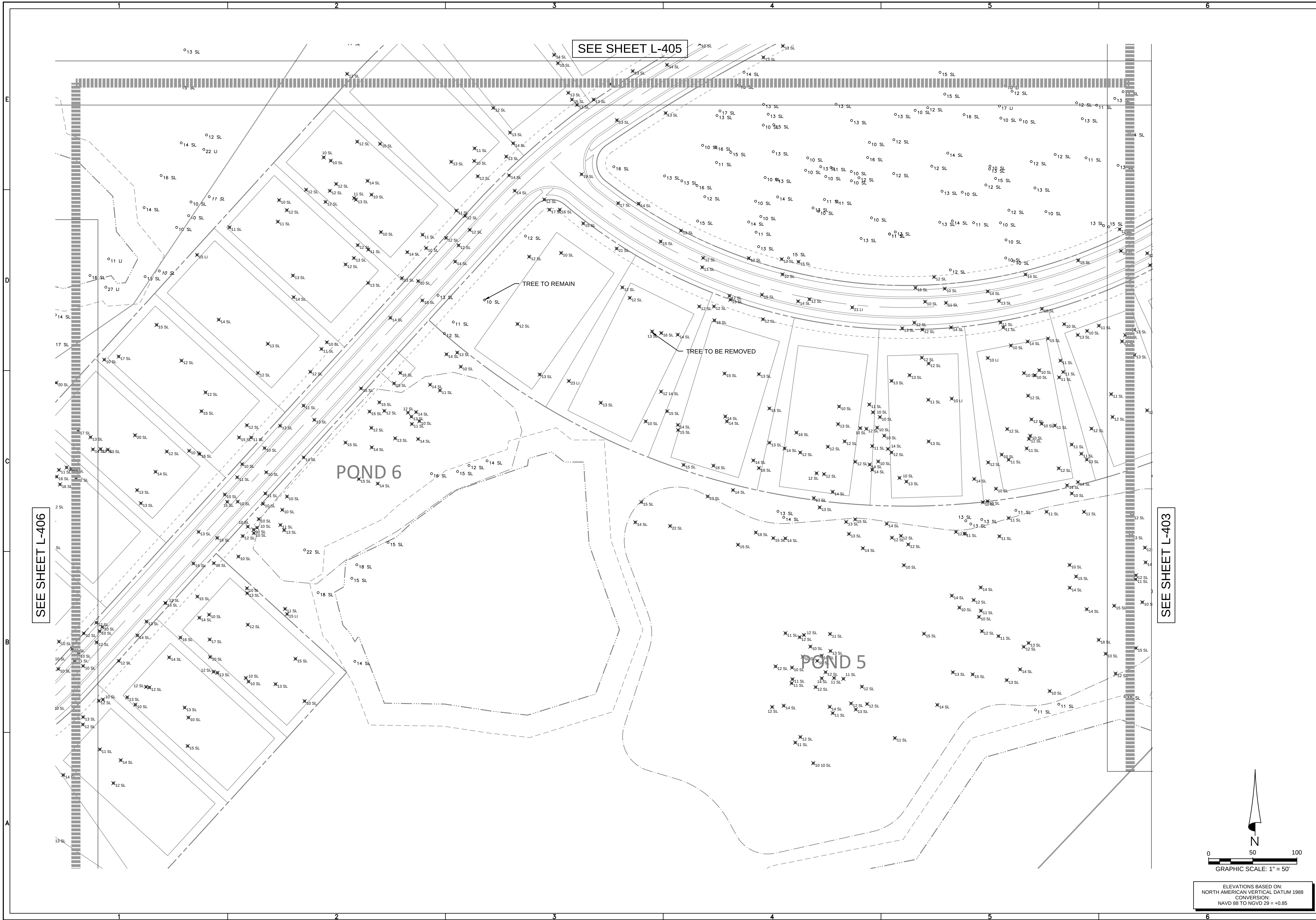
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MARICOPA
PRELIMINARY DEVELOPMENT PLAN

PDP LANDSCAPE PLAN

PREPARED FOR:
HOMES BY WEST BAY

DATE	DESCRIPTION

DATE	DESCRIPTION
11-12-15	REVIEW SUBMITTAL

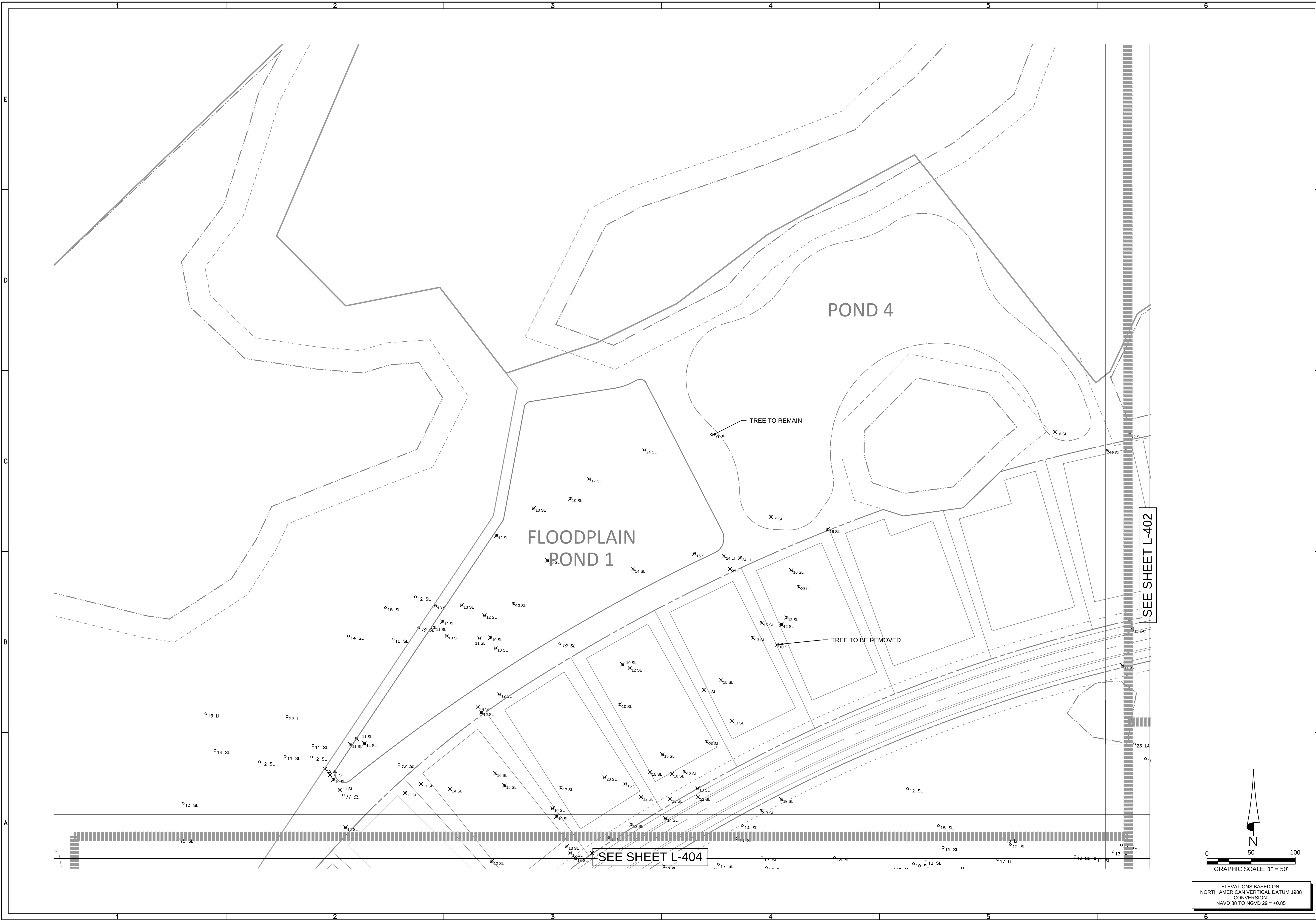
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FILE: L-402
DESIGN BY: STEELE
DRAWN BY: STEELE

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PRELIMINARY DEVELOPMENT PLAN

PDP LANDSCAPE PLAN

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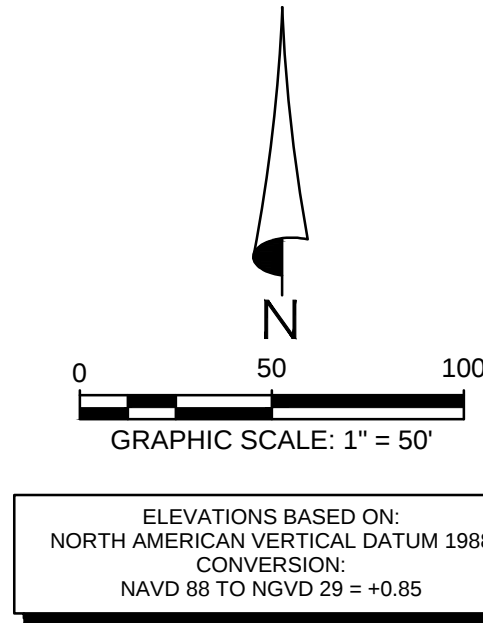
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MARICOPA		HOMES BY WEST BAY	
PRELIMINARY DEVELOPMENT PLAN		PDP LANDSCAPE PLAN	
PREPARED FOR:		HOMES BY WEST BAY	
REVIEW SUBMITTAL		DATE	
DESCRIPTION		DATE	
1		11-12-15	
PROJECT NO: HBW-MC-1005		FILE: L-402	
DESIGN BY: STEELE		DRAWN BY: STEELE	
FLORIDA REGISTERED LANDSCAPE ARCHITECT		KEVEN JOHN STEELE	
DATE:		REGISTRATION NO. LA6667179	
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ELEVATIONS BASED ON:
NORTH AMERICAN VERTICAL DATUM 1988
CONVERSION:
NAVD 88 TO NGVD 29 = +0.85

GRAPHIC SCALE: 1" = 200'

0 200 400

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PRELIMINARY DEVELOPMENT PLAN
STREET ADDRESSING PLAN
PREPARED FOR: HOMES BY WEST BAY

NO.	DATE	DESCRIPTION
1	11-12-15	REVIEW SUBMITTAL

PROJECT NO.: HBW-MC-1005
FILE: ADDRESSING PLAN
DESIGN BY: STOLLINGS
DRAWN BY: STOLLINGS

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EDWIN J. ROGERS
DATE: _____
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