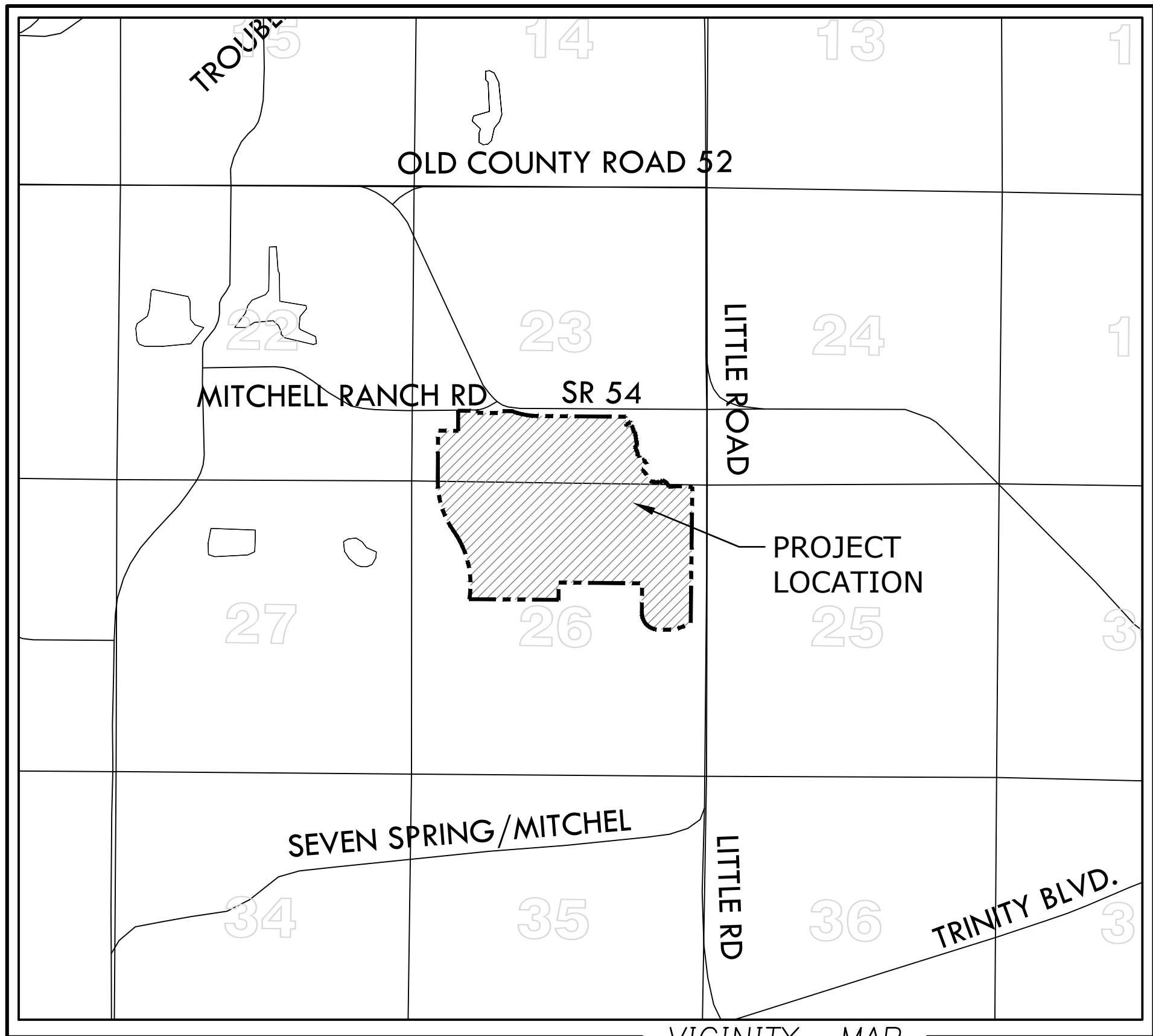


MITCHELL RANCH

PRELIMINARY DEVELOPMENT PLAN (PDP)



VICINITY MAP
PASCO COUNTY, FLORIDA
SECTION 23 & 26, TOWNSHIP 26 SOUTH, RANGE 16 EAST

INDEX OF CONSTRUCTION PLANS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY DEVELOPMENT PLAN OVERALL
3-4	PDP NOTES & DETAILS
5	ROADWAY SECTIONS
6-9	PRELIMINARY DEVELOPMENT PLAN ENLARGED
10	MODEL PARKING LOT DETAIL

PREPARED FOR:

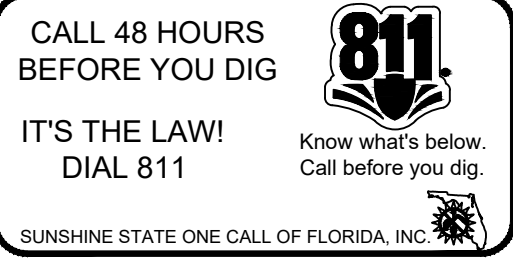
LENNAR

4600 W. CYPRESS ST.
SUITE 200
TAMPA, FL 33607

PREPARED BY:

CLEARVIEW
LAND DESIGN, P.L.

Engineering Business C.A. No.: 28858
3010 W. Azeele st. Suite 150 Tampa, FL 33609
Office: 813-223-3919 Fax: 813-223-3975



UTILITY CONTACT INFORMATION

CHARLES CULLEN PASCO COUNTY UTILITIES DEPARTMENT 19420 CENTRAL BLVD. LAND O' LAKES, FL 34637 727-847-8145 ccullen@pascocountyfl.net	TIM GRAYSON DUKE ENERGY 4121 SAINT LAWRENCE DR NEW PORT RICHEY, FL 34653 727-372-5109 TIMOTHY.GRAYSON@DUKE-ENERGY.COM	BILL WALKER CHARTER COMMUNICATIONS - EAST PASCO 30432 SR 54 WESLEY CHAPEL, FL 33543 813-808-5658 michael.kiker@mybighthouse.com	MEGAN DEVINO PASCO COUNTY FIRE SERVICES 4111 LAND O'LAKES BLVD. STE. 208 LAND O' LAKES, FL 34639 813-929-2750 firerescue@pascocountyfl.net
JANELLE KUSIOLEK FLORIDA GOV'T UTILITIES AUTHORITY (FGUA) 280 WEKIVA SPRINGS RD LONGWOOD, FL 32779-6026 407-340-2782 JKUSIOLEK@GOVMSERV.COM	CARLOS BATES FRONTIER COMMUNICATIONS 1400 CHANNELSIDE DR TAMPA, FL 33607 813-906-6709 carlos.l.bates@ftr.com	PHYLLIS BRIDGES TECO PEOPLES GAS-TAMPA 1400 CHANNELSIDE DR TAMPA, FL 33605 813-275-3742 jcastellanos@tecoenergy.com	

PERMIT / FILE NOS.	
PASCO PDD PROJECT NO.	
FGUA PROJECT NO.	
SWFWMD ERP/APPLICATION ID NO.	
WATER DEP	
SEWER DEP	
RECLAIMED WATER DEP	
PARCEL ID NO.	23-26-16-0000-01200-0050 23-26-16-0000-01200-0000 23-26-16-0000-01200-0014 23-26-16-0000-01900-0000 26-26-16-0000-00100-0000 26-26-16-0000-00100-0100 26-26-16-0000-00100-0110

MITCHELL RANCH		
DATE:	BRIAN G. SURAK P.E. No 59064	
DATE:	04-01-19	JOB NO. LNH-MR-011
FILE:	CV	SHEET 1 OF 10

PRELIMINARY PLAN NOTES:

Developer: Lennar Homes
4600 West Cypress St. Suite 200
Tampa, FL 33607
--

Engineer: Clearview Land Design, P.L.
3010 Azeele St. Suite 150
Tampa, Florida 33609
(813) 223-3919
jordans.schrader@clearviewland.com

Surveyor: Florida Design Consultants, Inc.
3030 Starkey Blvd
New Port Richey FL, 34655
(800)532-1047

- Existing Zoning: **MPUD (RZ-2716)** (Current Approval 08/29/2016). The Owner/Developer acknowledges that the site and its subsequent building permits shall comply with all rezoning MPUD/PUD conditions.
- Existing Land Use: Vacant Pasture, Single Family Residence
- Future Land Use Classification: Planned Development (PD)
- Water service to be provided by Florida Government Utility Authority (FGUA).
- Sewage disposal service to be provided by Florida Government Utility Authority (FGUA).
- Electrical power to be provided by DUKE ENERGY Telephone service to be provided by FRONTIER & SPECTRUM.
- Street lighting to be provided by DUKE ENERGY for the entire project in accordance with Section 9011.
- Fire protection to be provided by the existing Pasco County Fire Station No. 17, located at Seven Springs Blvd. approximately 2 miles from the project entrance. Fire Hydrants will be provided on-site.
- The uplands are pasture. The wetlands are cypress heads and grass marshes.
- Predominant soil types on-site consist of Myakka, Tavares, Sellers, Adamsville, Smyrna, and Basinger Fine Sands.
- Recreation areas, conservation areas, and stormwater management facilities will be owned and maintained by the Homeowner's Association (HOA) unless otherwise noted.
- Stormwater Management ponds to be within tracts dedicated to the CDD for maintenance unless otherwise noted.
- Contours shown are based on North American Vertical Datum (NAVD88).
- All roadway standards to comply with the Manual of Uniform Minimum Standards, State of Florida.
- Signing & Pavement Markings:
 - Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
- All onsite parking spaces shall be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
- All utility construction shall comply with the FGUA Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All utility lines shall be installed underground.
- The site appears to lie within Flood Zones A, Ae, and X according to F.I.R.M. Panel 1210IC0360F of Pasco County FL, dated 09/26/2014.
- A minimum of 16" of sod strip will be provided along all roadways per Pasco County requirements.
- Setbacks from post-developed wetlands shall be as follows: 25-foot minimum undisturbed around all Category I Wetlands; Buffers around Category II and Category III Wetlands shall be as required by SWFWMD. Allowable uses and restrictions for buffers shall be in accordance with Section 805 of the Pasco County Land Development Code.
- Sidewalks will be provided on both sides of all roads including non-lot areas. Unless otherwise shown, all sidewalks shall be five (5) feet wide, 4" thick concrete, and 3000 p.s.i., fiber-reinforced. Sidewalks shall be constructed on a compacted non-yielding subgrade, and 6" in thickness is required where sidewalk is crossed by a driveway.
- Buffering for all retention/detention areas along road right-of-ways and private roads to have trees selected from tree list at the rate of one tree per 50 LF.
- All landscape and sodded areas along collector road will be irrigated and maintained by the HOA or an entity other than Pasco County.
- This project will comply with the Pasco County Tree Protection and Restoration Ordinance.
- All construction work, including road, drainage and utilities, shall be constructed in accordance with Pasco County design standards and tested in compliance with the Pasco County Engineering Service Department Testing Specifications for construction of roads, storm drainage and utilities.
- If during construction activities any evidence of historic resources, including but not limited to aboriginal stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop and the Florida Department of Historic Resources (State Historic Preservation Officer) and Pasco County shall be notified within two working days of the resources found on the site. In the event that unmarked human remains are encountered during permitted activities, all work must stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statute.
- The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-way Use Permit.
- Explosive dust emissions shall be controlled by sprinkling as necessary.
- On-site burning shall not be employed without approval from the Fire Marshal.
- The soil erosion and sediment control devices shall be installed prior to construction, maintained throughout construction and until the site is permanently stabilized.
- All driveway cuts shall be installed to local streets.
- The CDD or HOA will be responsible for maintenance of the underdrain system.
- Maintenance of sidewalk shall be the responsibility of the HOA, or an entity other than Pasco County.
- Drainage tracts/easements shall be conveyed to the HOA by plat. The easements will be required to be given to Pasco County, for the right but not the obligation to maintain. Maintenance responsibility will be that of the HOA.
- In consideration of Pasco County's agreement to provide potable water and/or reclaimed water to the subject property, Developer/Owner, and its successors and assigns, agree to the following:
 - (a) In the event of Production Failure or Shortfall by Tampa Bay Water, as set forth in section 3.19 of the Interlocal Agreement creating Tampa Bay Water, Developer/Owner shall transfer to Pasco County any and all water use permits or water use rights the Developer/Owner may have to use or consume surface or ground water within Pasco County.
 - (b) Prior to Developer/Owner selling water or water use permits or water use rights, Developer/Owner shall notify Pasco County, and Pasco County shall have a right of first refusal to purchase such water or water use permits or water use rights.
- The Developer will grant, convey, warrant and dedicate to the County via plat a Non-Exclusive Flow through Easement and reasonable right of access to ensure the free flow of water for general public drainage purposes over, through and under all drainage easements/areas or commonly owned property shown on this plat. In the event the Owner, the District or the Association fails to properly maintain any public or private drainage easements/areas preventing the free flow of water, the County shall have the reasonable right, but not the obligation, to access and enter upon any public or private drainage easement/area for the purpose of performing maintenance to ensure the free flow of water.
- As applicable, the Owner/Developer will provide copies of the required permits from the respective agencies prior to the issuance of the SDP.
- The Owner/Developer acknowledges that this approval does not include any work in the County ROW. All ROW work shall be a function of an approved Pasco Right-of-Way Use Permit.
- All structures, including buffer walls, retaining walls, signage, etc...require building permits.
- The project is located in Hurricane Evacuation Zone: E
- If during construction activities any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop and Pasco County shall be notified within two working days of the plant and/or animal species found on the site.

PASCO COUNTY STANDARD SITE PLAN NOTES:

- All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
- Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of this site plan does not constitute approval of the location of the fuel tanks.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
- Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
- The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
- The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-way Use Permit.
- All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
- The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
- All structures, including buffer walls, retaining walls, signage, etc. require building permits.

RESIDENT & VISITOR PARKING REQUIREMENTS (PHASE 1-3):

- REQUIRED:
 - Resident: 3 spaces x 402 units = 1206 Spaces
 - Visitor: 0.25 spaces X 402 units = 101 Spaces
 - Total Required = 1307 Required
- PROVIDED:
 - SINGLE FAMILY DETACHED: (2-CARS IN GARAGE + 2-CAR IN DRIVEWAY) = 216x 4 = 864 SPACES
 - 28' TOWNHOMES (2-CARS IN GARAGE + 2-CAR IN DRIVEWAY) = 90 x 4 = 360 SPACES
 - 16' TOWNHOMES (1 CAR IN GARAGE + 1 CAR IN DRIVEWAY) = 96 x 2 = 192 SPACES
 - SURFACE PARKING = 60 SPACES*
 - TOTAL PARKING PROVIDED = 1,476 SPACES

* DOES NOT INCLUDE GENERAL STREET PARKING ON YIELD STREETS

*NEIGHBORHOOD PARK REQUIREMENTS:

- TOTAL AREA REQUIRED:
 - REQUIRED: 1.0 AC. + (1 ACRE/100 LOTS) X 402 LOTS = 4.02 AC.
- PROVIDED:
 - NEIGHBORHOOD PARK 1: 2.64 AC. (TRACTS C-1 & B-3)
 - NEIGHBORHOOD PARK 2: 0.87 AC. (TRACT P-2)
 - NEIGHBORHOOD PARK 3: 1.04 AC. (TRACT B-2)
 - NEIGHBORHOOD PARK 4: 1.34 AC. (TRACT B-5)
 - NEIGHBORHOOD PARK 5: 0.99 AC. (TRACT P-1)
 - NEIGHBORHOOD PARK 6: 4.29 AC. (TRACT B-6)
 - TOTAL 11.17

(7.15 AC MAY BE APPLIED TO PHASE 4 FUTURE RESIDENTIAL)

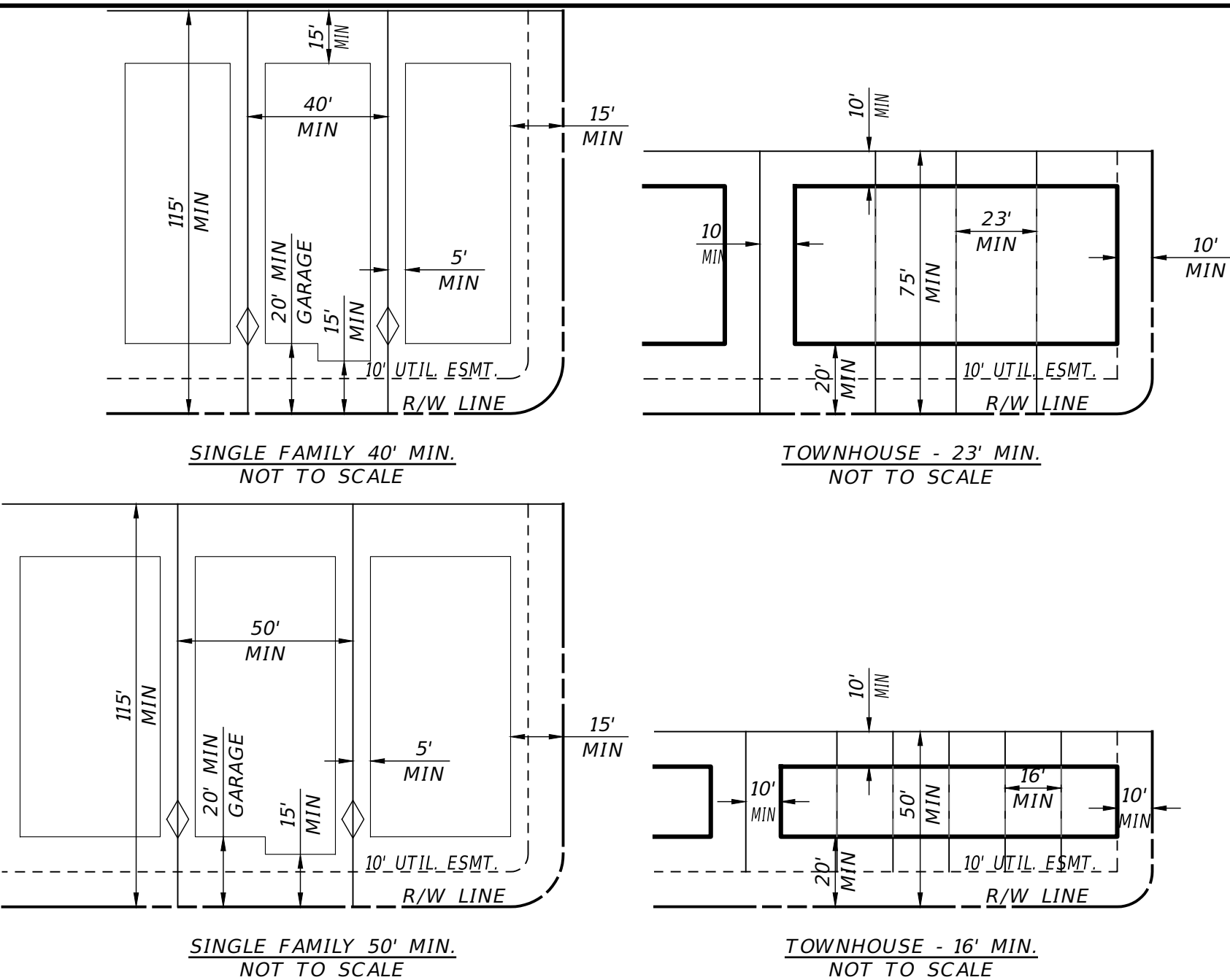
- THE SERVICE RADIUS FOR THE NEIGHBORHOOD PARK IS ¼ MILE. THE ENTIRE PROJECT SITE FALLS WITHIN THIS SERVICE BOUNDARY

ENVIRONMENTAL NOTES:

- If during construction activities any evidence of the presence of State or Federally protected plant and/or animal species is discovered, Pasco County and applicable agencies shall be notified within two working days of the plant and/or animal species found on the site. All work shall come to an immediate stop until all pertinent permits have been obtained, agency written authorization to commence activities has been given, or compliance with state and federal guidelines can be demonstrated.
- No construction activities including: clearing, grading, grubbing shall occur within the Wetland Upland Buffer as depicted on the approved project Construction Plans.
- The county biologist shall be contacted prior to construction activities to confirm if the Florida Sandhill Crane, Southeastern American Kestrel, Sherman's Fox Squirrel breeding season surveys are necessary.
- The upland buffer line shall be clearly field demarcated prior to any construction activities.

STANDARD FIRE PROTECTION NOTES:

- All projects must comply with Pasco County Fire Hydrant Ordinance as per the Pasco County Land Development Code, Section 904.
- Fire hydrants shall be installed and in service prior to the accumulation of combustibles.
- Per the National Fire Protection Association, NFPA-1, 16.4.3.1.3: Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to construction work.
- Per NFPA-1, 18.3.4.1: Clearances of 7 1/2 feet in front of and to the sides of the fire hydrant with a 4-foot clearance to the rear must be maintained at all times.
- Gated entries require a Siren Operating System or a 3M Opticom system for emergency access.



- SINGLE FAMILY DETACHED NOTES
- SIDE YARD SETBACKS SHALL BE IN COMPLIANCE WITH PASCO COUNTY LDC SECTION 902.2.K.2.b
 - MAXIMUM LOT COVERAGE IS 80%
 - MAXIMUM BUILDING HEIGHT IS 35'
 - ALL CORNER LOTS SHALL BE A MINIMUM OF 10 FEET LARGER THAN THE STANDARD LOT WIDTH ON THAT BLOCK.
 - FORWARD FACING GARAGES SHALL HAVE A MINIMUM SETBACK OF 20 FEET
 - LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT SETBACK LINE.
 - ON CORNER LOTS WHERE THERE IS MORE THAN ONE SETBACK THE FRONT SETBACK MAY BE REDUCED TO 10 FEET.

REPRESENTS REQUIRED DRAINAGE EASEMENT FOR LOTS WITH SIDE SETBACK LESS THAN 7.5'

WETLAND SUMMARY TABLE:

WETLAND ID	WETLAND CATEGORY	WETLAND AREA (AC.)	WETLAND IMPACT ID	IMPACT AREA (AC.)
1	III	3.44	1	3.44
2	III	3.03	2	3.03
3	III	4.16	3	0.67
4	III	1.62	4	1.25
5	III	0.44	5	0.44
7	I	44.43	7A	0.16
			7A2	0.02
			7B	0.14
			7C	0.62
			7D	0.55
			7E	0.47
			7G	0.04
8	III	0.07	8	0.07
9	I	4.30	9A	0.04
			18B	0.13
			18C	3.61
			18D	0.14
19	III	1.43	19	0.05
20	III	6.30	20A	0.11
			20B	0.37
			20C	0.05
			20D	0.06
21	III	6.90	21	6.90
22	III	3.31	22A	0.59
			22B	0.05
23	III	0.03	23	0.03
24	III	1.22	24	1.22
			TOTAL	45.60

WETLAND CATEGORY SUMMARY	
CATEGORY	AREA
CAT I	48.73 AC
CAT II	5.94 AC.
CAT III	63.83 AC.
TOTAL	118.50 AC

LEGAL DESCRIPTION:

A parcel of land being a portion of Sections 23 and 26, Township 26 South, Range 16 East, Pasco County, Florida, being more particularly described as follows:

COMMENCE at the Southeast corner of the Northeast 1/4 of Section 26, Township 26 South, Range 16 East, Pasco County, Florida; thence N89°31'39"W, along the South line of said Northeast 1/4 of Section 26 (being the basis of bearings for this legal description); for 26017 feet to the point of intersection with the Westerly Right-of-Way line of Little Road, according to Official Records Book 1469, page 1422 of the Public Records of Pasco County, Florida; thence leaving said South line of the Northeast 1/4 of Section 26, N00°34'52"E, along said Westerly Right-of-Way line of Little Road, for 0.71 feet; thence N00°39'53"E, continuing along said Westerly Right-of-Way line of Little Road, for 119.91 feet to the Northeast corner of that certain property as described in Official Records Book 3102, page 1213 of the Public Records of Pasco County, Florida, same being the POINT OF BEGINNING; thence the following eight (8) courses along the Northerly line of said certain property as described in Official Records Book 3102, page 1213; (1) thence leaving said Westerly Right-of-Way line of Little Road, S78°06'26"W, for 26.54 feet; (2) thence S63°27'58"W, for 121.46 feet; (3) thence S70°17'12"W, for 76.89 feet; (4) thence S65°26'03"W, for 78.57 feet to the point of intersection with said South line of the Northeast 1/4 of Section 26; (5) thence N89°31'39"W, along said South line of the Northeast 1/4 of Section 26, for 3051.4 feet to the point of intersection with a non-tangent curve, concave Northeasterly; (6) thence leaving said South line of the Northeast 1/4 of Section 26, Northwesterly along the arc of said curve, from a radial bearing of S00°28'07"W, having a radius of 300.00 feet, a central angle of 90°03'58", an arc length of 471.58 feet, and a chord bearing N44°29'54"W, for 424.51 feet to the point of intersection with a non-tangent line; (7) thence N00°32'09"E, for 531.05 feet; (8) thence N89°27'18"W, for 1,503.45 feet to the point of intersection with the West line of said Northeast 1/4 of Section 26, same being the Northwest corner of said certain property as described in Official Records Book 3102, page 1213; thence S00°31'56"W, along said West line of the Northeast 1/4 of Section 26, same being the West line of said certain property as described in Official Records Book 3102, page 1213, for 311.43 feet to the Northeast corner of that certain property as described in Official Records Book 5070, page 101 of the Public Records of Pasco County, Florida; thence leaving said West line of the Northeast 1/4 of Section 26, N89°34'07"W, along the North line of said certain property as described in Official Records Book 5070, page 101, for 1,606.52 feet to the point of intersection with the Easterly Right-of-Way line of Welbilt Boulevard, according to Official Records Book 5418, page 1791 of the Public Records of Pasco County, Florida, same being the Northwest corner of said certain property as described in Official Records Book 5070, page 101, same also being the point of intersection with a non-tangent curve, concave Westerly; thence the following four (4) courses along said Easterly Right-of-Way line of Welbilt Boulevard and the Easterly line of that certain property as described in Official Records Book 3176, page 970 of the Public Records of Pasco County, Florida, respectively; (1) thence Northerly along the arc of said curve, from a radial bearing of S80°53'01"E, having a radius of 1,675.00 feet, a central angle of 44°25'55", an arc length of 1,298.94 feet, and a chord bearing N13°05'59"W for 1,266.63 feet to the point of tangent; (2) thence N35°18'57"W, for 1.44 feet to the point of curvature of a curve concave Easterly; (3) thence Northerly along the arc of said curve, having a radius of 1,530.00 feet, a central angle of 35°37'16", an arc length of 951.21 feet, and a chord bearing N17°30'19"W for 935.96 feet to the point of tangent; (4) thence N00°18'19"E, for 909.22 feet to the Southwest corner of that certain property as described in Official Records Book 1712, page 1843 of the Public Records of Pasco County, Florida; thence leaving said Easterly line of that certain property as described in Official Records Book 3176, page 970, S89°32'50"E, along the South line of said certain property as described in Official Records Book 1712, page 1843, for 361.59 feet to the Southeast corner of said certain property as described in Official Records Book 1712, page 1843; thence N00°17'44"E, along the East line of said certain property as described in Official Records Book 1712, page 1843, for 361.67 feet to the point of intersection with the Southerly line of Mitchell Ranch Road, according to Official Records Book 1281, page 1225 of the Public Records of Pasco County, Florida, same being the Northeast corner of said certain property as described in Official Records Book 1712, page 1843; thence S89°32'48"E, along said Southerly line of Mitchell Ranch Road, according to Official Records Book 1281, page 1225, for 354.67 feet to the point of intersection with the Southerly Right-of-Way line of Mitchell Ranch Road, according to Official Records Book 3518, page 1394 of the Public Records of Pasco County, Florida; thence the following three (3) courses along said Southerly Right-of-Way line of Mitchell Ranch Road, according to Official Records Book 3518, page 1394; (1) thence S00°27'22"W, for 34.95 feet; (2) thence S89°32'38"E, for 352.93 feet; (3) thence N00°14'00"E, for 34.97 feet to the point of intersection with said Southerly line of Mitchell Ranch Road, according to Official Records Book 1281, page 1225; thence S89°32'48"E, along said Southerly line of Mitchell Ranch Road, according to Official Records Book 1281, page 1225, for 266.52 feet to the point of intersection with the Southerly Right-of-Way line of State Road 54, according to Official Records Book 4042, page 1444 of the Public Records of Pasco County, Florida, same being the point of intersection with a non-tangent curve, concave Northerly; thence Easterly along said Southerly Right-of-Way line of State Road 54, according to Official Records Book 4042, page 1444, along the arc of said curve, from a radial bearing of S21°20'12"W, having a radius of 1,278.23 feet, a central angle of 20°53'00", an arc length of 465.89 feet, and a chord bearing S79°06'18"E for 463.32 feet to the point of tangent; thence S89°32'48"E, along the Southerly Right-of-Way line of State Road 54, according to said Official Records Book 4042, page 1444 and Official Records Book 2058, page 1993, Official Records Book 2059, page 1 and Official Records Book 2058, page 1999, all of the Public Records of Pasco County, Florida, respectively, for 1,585.46 feet; thence leaving said Southerly Right-of-Way line of State Road 54, according to said Official Records Book 4042, page 1444, Official Records Book 2058, page 1993, Official Records Book 2059, page 1 and Official Records Book 2058, page 1999, S00°27'12"W, for 53.70 feet; thence S52°55'46"E, for 18.78 feet; thence S49°59'15"E, for 46.05 feet; thence N81°22'55"E, for 28.05 feet; thence S27°00'44"E, for 15.26 feet to the point of intersection with the Westerly line of Official Records Book 4216, page 1356 of the Public Records of Pasco County, Florida; thence along said Westerly line of Official Records Book 4216, page 1356 the following three (3) courses: (1) S64°29'40"W, for 77.17 feet; (2) thence S00°00'51"E, for 33.24 feet; (3) thence N64°29'40"W, for 92.27 feet; thence leaving said Westerly line of Official Records Book 4216, page 1356, S27°00'44"E, for 11.71 feet; thence S45°50'13"W, for 9.95 feet; thence S40°59'00"E, for 51.02 feet; thence S07°59'39"E, for 29.08 feet; thence S12°52'33"E, for 47.84 feet; thence S45°41'57"E, for 18.80 feet; thence N86°17'41"E, for 18.19 feet; thence S01°00'16"E, for 50.44 feet; thence S10°19'26"E, for 21.96 feet; thence S09°58'46"E, for 51.15 feet; thence S05°54'20"E, for 40.31 feet; thence S34°05'10"E, for 24.92 feet; thence S00°10'13"W, for 34.68 feet; thence S12°12'20"W, for 26.37 feet; thence S53°33'19"W, for 31.88 feet; thence S04°01'54"W, for 10.83 feet; thence S34°58'03"E, for 28.28 feet; thence S07°48'57"E, for 24.52 feet; thence S26°04'58"E, for 27.76 feet; thence S23°35'24"E, for 35.01 feet; thence S00°40'51"E, for 34.18 feet; thence S03°58'09"E, for 21.19 feet; thence N86°52'30"E, for 31.46 feet; thence S03°02'10"W, for 82.63 feet to the point of intersection with a non-tangent curve, concave Northerly; thence Easterly along the arc of said curve, with a radial bearing of N00°56'28"E, having a radius of 300.00 feet, a central angle of 18°09'05", an arc length of 95.04 feet, and a chord bearing N8°51'54"E, for 94.65 feet, to the point of intersection with a non-tangent line; thence S17°12'40"E, for 53.00 feet to the point of intersection with a non-tangent curve, concave Northerly; thence Easterly along the arc of said curve, with a radial bearing of N17°12'40"W, having a radius of 353.00 feet, a central angle of 02°09'45", an arc length of 13.32 feet, and a chord bearing N71°42'27"E, for 13.32 feet, to the point of intersection with a non-tangent line; thence S14°45'00"E, for 50.17 feet; thence S08°47'03"W, for 36.27 feet; thence S36°41'57"W, for 38.12 feet; thence S64°01'30"W, for 49.44 feet; thence S01°29'49"W, for 8.74 feet; thence S65°28'37"E, for 10.67 feet; thence S40°49'34"E, for 71.12 feet; thence S24°25'58"E, for 50.22 feet; thence S27°01'34"E, for 47.77 feet; thence S42°44'00"E, for 41.35 feet; thence S46°57'57"E, for 26.27 feet; thence S76°35'44"E, for 34.77 feet; thence S84°38'51"E, for 26.74 feet; thence S73°27'33"E, for 34.82 feet; thence S70°12'24"E, for 15.86 feet; thence N67°10'39"E, for 39.52 feet; thence S45°47'56"E, for 28.28 feet; thence N41°43'35"E, for 15.76 feet; thence N64°20'38"E, for 11.49 feet; thence N64°16'59"E, for 4.26 feet; thence N37°41'42"E, for 38.23 feet; thence S58°53'21"E, for 63.12 feet; thence S47°30'02"E, for 28.50 feet; thence S35°47'44"E, for 19.15 feet; thence S22°14'29"E, for 42.92 feet; thence N84°39'59"E, for 63.75 feet; thence N86°43'45"E, for 94.58 feet; thence S87°27'23"E, for 74.94 feet; thence S87°05'04"E, for 190.93 feet to the point of intersection with the Westerly Right-of-Way line of LITTLE ROAD as described in Official Records Book 1469, Page 1422 of the Public Records of Pasco County, Florida; thence S00°39'53"W, along said Westerly Right-of-Way line of LITTLE ROAD, for 2,456.27 feet to the POINT OF BEGINNING.

Containing 13,207.514 Square feet or 303.203 Acres, more or less.

SITE DATA TABLE				
TOTAL	UPLAND	WETLAND	LOTS	GROSS DENSITY
303.20 AC	230.30 AC	72.90 AC	402	1.33
			NET DENSITY	
			1.75	

- NOTES:
- WETLAND AREA REFLECTS POST-DEVELOPMENT WETLAND AREA ONSITE.
 - CALCULATIONS ARE BASED ON PHASES 1, 2, & 3. THE NUMBER OF RESIDENTIAL UNITS IN PHASE 4 WILL BE DETERMINED IN THE FUTURE WITH A MODIFICATION OF THIS PLAN.



Engineering Business C.A. No.: 28858
3010 W. Azeele St. Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

BRIAN G. SURAK

State of Florida, Professional Engineer, License No. 59064
This form has been digitally signed and sealed by BRIAN G. SURAK on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE: 02/28/2019

BRIAN G. SURAK NO. 59064
FLORIDA PROFESSIONAL ENGINEER

PDP NOTES & DETAILS

JOB NO.

LNH-MR-011

DESIGN

SURAK

DRAWN

DROOR

DATE

03-01-2019

FILE

PDP NOTES

MITCHELL RANCH

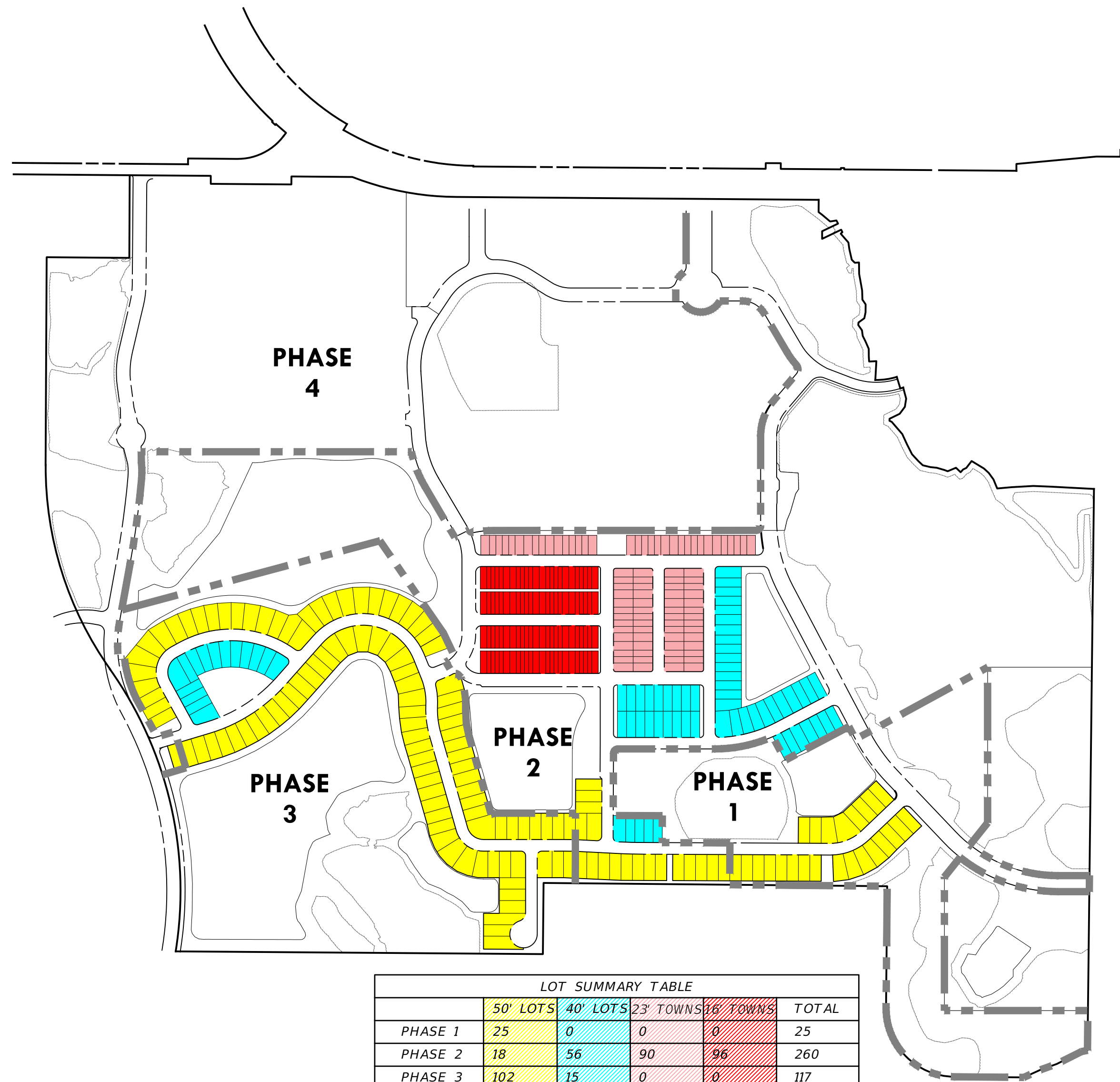
LENAR HOMES LLC

Elevations based on North American Vertical Datum 1988 (NAVD 88)

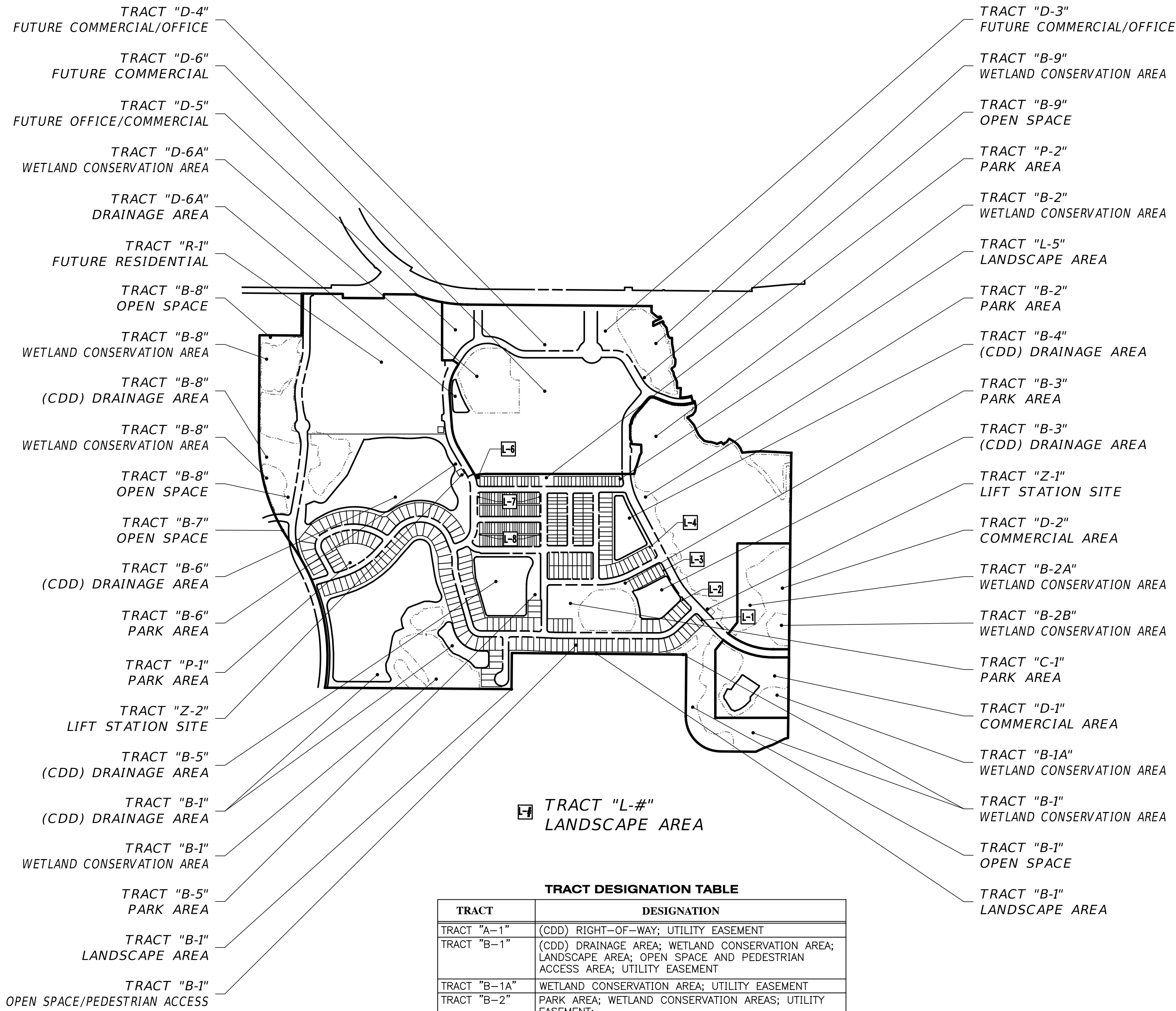
Conversion from NAVD 88 to NGVD 29 = +0.00 Feet

SHEET 3 OF 10 SHEETS

04-01-19	PERMIT PLANS	INI
DATE	DESCRIPTION	BY
	REVISIONS	




LOT SUMMARY TABLE					
	50' LOTS	40' LOTS	23' TOWNS	16' TOWNS	TOTAL
PHASE 1	25	0	0	0	25
PHASE 2	18	56	90	96	260
PHASE 3	102	15	0	0	117
PHASE 4	TBD	TBD	TBD	TBD	TBD
TOTAL	145	71	90	96	402



TRACT DESIGNATION TABLE	
TRACT	DESIGNATION
TRACT "A-1"	(CDD) RIGHT-OF-WAY; UTILITY EASEMENT
TRACT "B-1"	(CDD) DRAINAGE AREA; WETLAND CONSERVATION AREA; LANDSCAPE AREA; OPEN SPACE AND PEDESTRIAN ACCESS AREA; UTILITY EASEMENT
TRACT "B-1A"	WETLAND CONSERVATION AREA; UTILITY EASEMENT
TRACT "B-2"	PARK AREA; WETLAND CONSERVATION AREAS; UTILITY EASEMENT
TRACT "B-2A"	WETLAND CONSERVATION AREA; UTILITY EASEMENT
TRACT "B-2B"	WETLAND CONSERVATION AREA; UTILITY EASEMENT
TRACT "B-3"	(CDD) DRAINAGE AREA; WETLAND CONSERVATION AREA; PARK AREA; UTILITY EASEMENT
TRACT "B-4"	(CDD) DRAINAGE AREA; UTILITY EASEMENT
TRACT "B-5"	(CDD) DRAINAGE AREA; PARK AREA; UTILITY EASEMENT
TRACT "B-6"	(CDD) DRAINAGE AREA; WETLAND CONSERVATION AREA; PARK AREA; UTILITY EASEMENT
TRACT "B-7"	OPEN SPACE; UTILITY EASEMENT
TRACT "B-8"	(CDD) DRAINAGE AREA; WETLAND CONSERVATION AREA; OPEN SPACE; UTILITY EASEMENT
TRACT "B-9"	WETLAND CONSERVATION AREA; OPEN SPACE; UTILITY EASEMENT
TRACT "C-1"	PARK AREA; UTILITY EASEMENT
TRACT "D-1"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-2"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-3"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-4"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-5"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-6"	COMMERCIAL AREA; UTILITY EASEMENT
TRACT "D-6A"	WETLAND CONSERVATION AREA; DRAINAGE AREA; UTILITY EASEMENT
TRACT "L-1"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-2"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-3"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-4"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-5"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-6"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-7"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-8"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-9"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "L-10"	LANDSCAPE AREA; UTILITY EASEMENT
TRACT "P-1"	PARK AREA; UTILITY EASEMENT
TRACT "P-2"	PARK AREA; UTILITY EASEMENT
TRACT "Z-1"	LIFT STATION SITE
TRACT "Z-2"	LIFT STATION SITE
TRACT "Z-3"	LIFT STATION SITE

PDP NOTES & DETAILS	
JOB NO. LNH-MR-011	MITCHELL RANCH
DESIGN SURAK	
DRAWN DROOR	PREPARED FOR: LENNAR HOMES LLC
DATE 03-01-2019	Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.00 Feet
FILE PDP NOTES	SHEET 4 OF 10 SHEETS

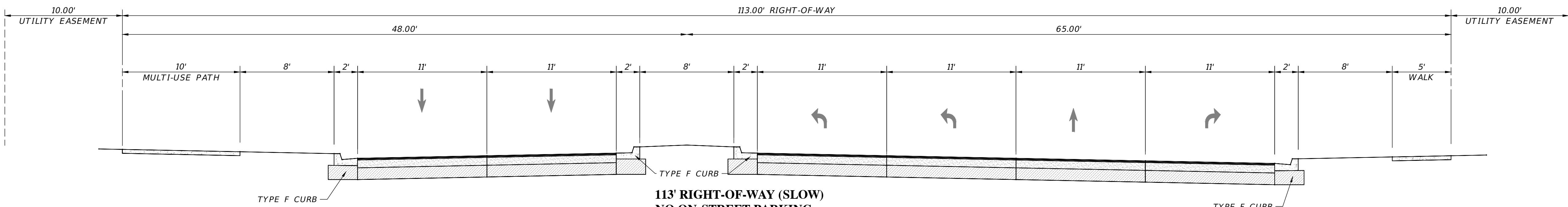
**Clearview**
LAND DESIGN, P.L.L.

Engineering Business C.A. No.: 28858
3010 W. Azeele St. Suite 150, Tampa, Florida 33609
Office: 813-223-3919 Fax: 813-223-3975

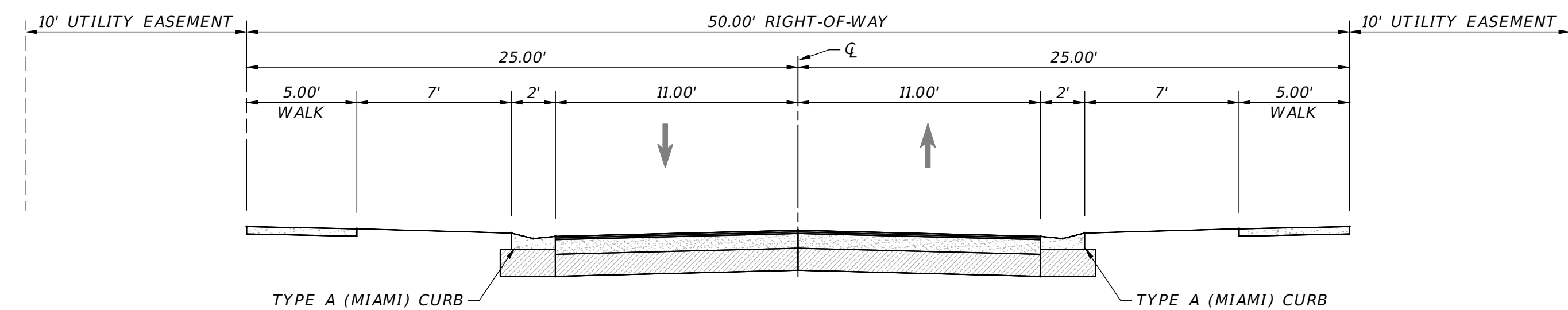
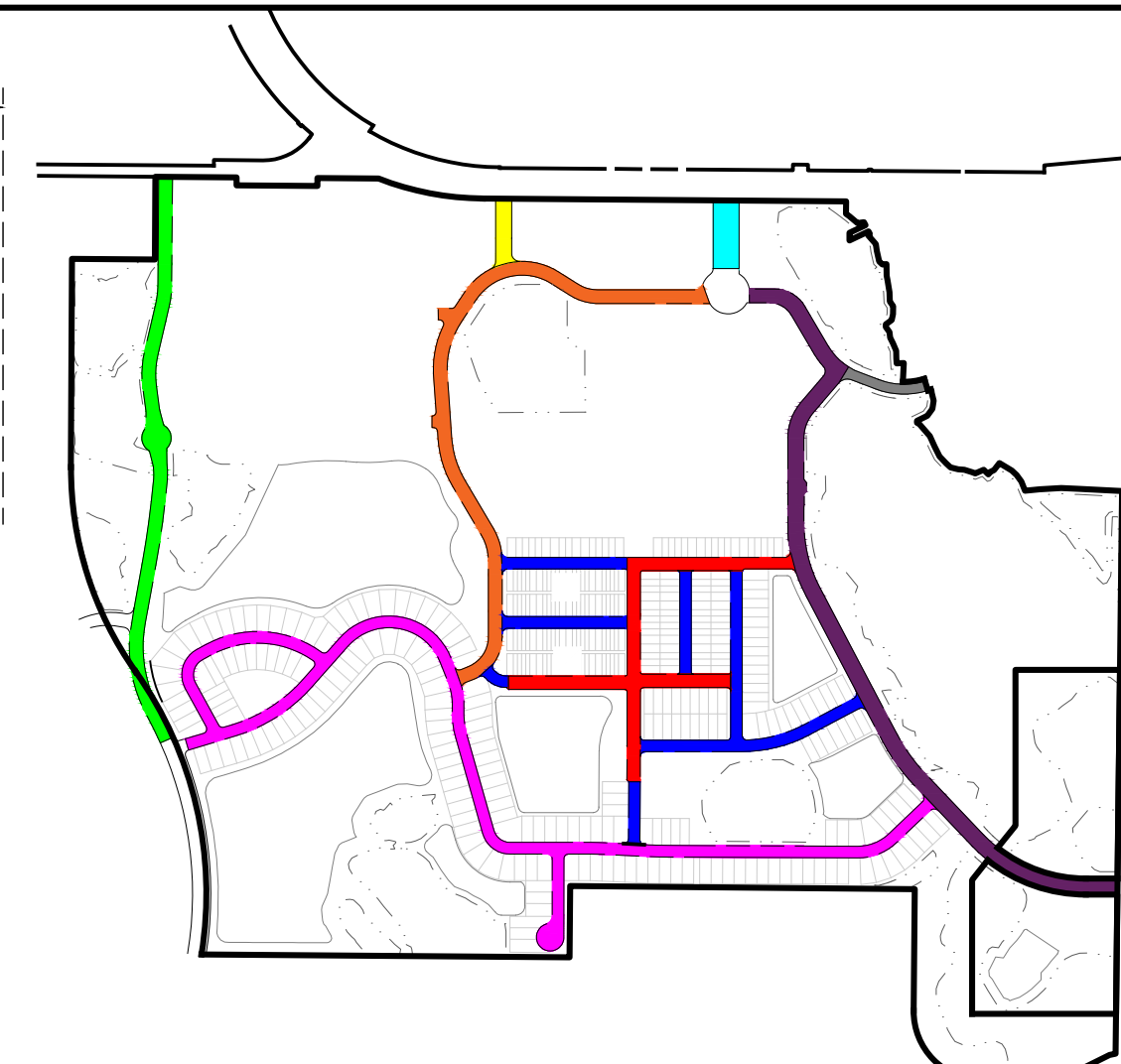
BRIAN G. SURAK
State of Florida, Professional Engineer, License No. 59064
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DATE: **03/28/2019**
BRIAN G. SURAK NO. 59064
FLORIDA PROFESSIONAL ENGINEER

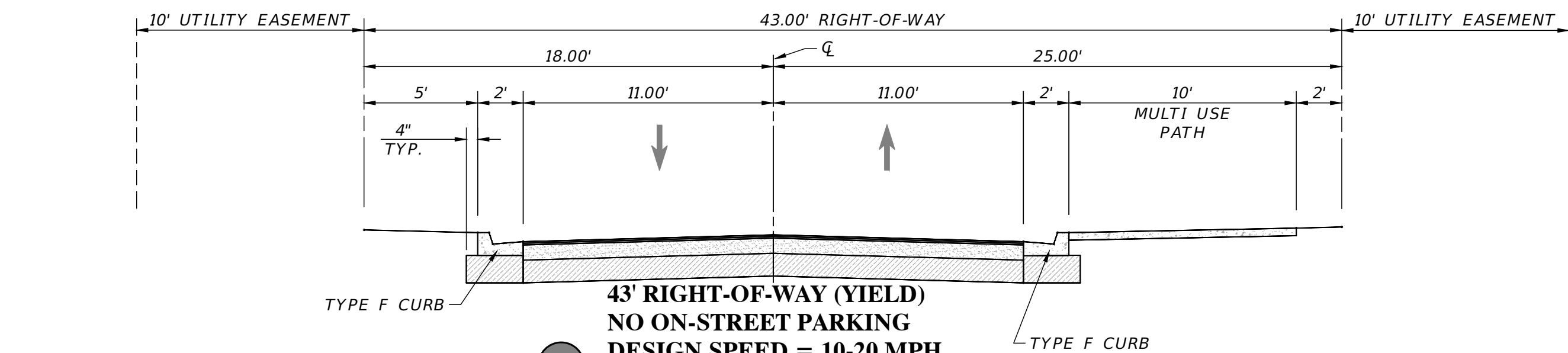
04-01-19	PERMIT PLANS	INI
DATE	DESCRIPTION	BY
	REVISIONS	



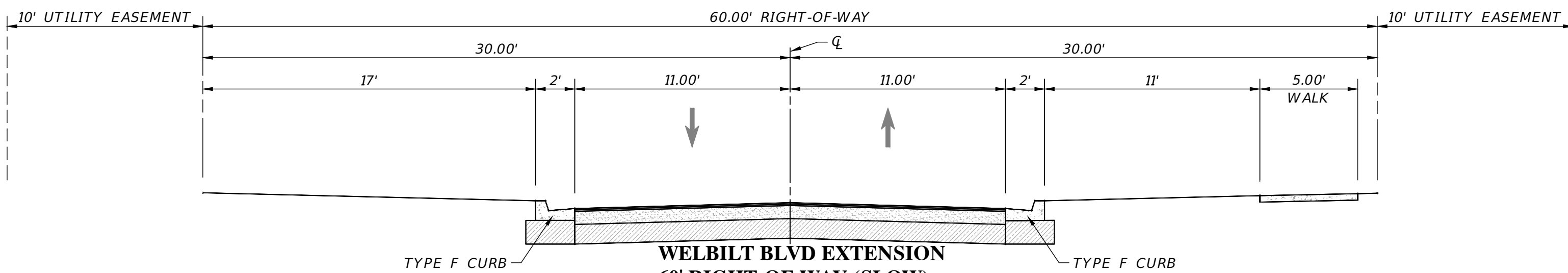
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NO ON-STREET PARKING
DESIGN SPEED = 30-35 MPH
SCALE: 1" = 5'



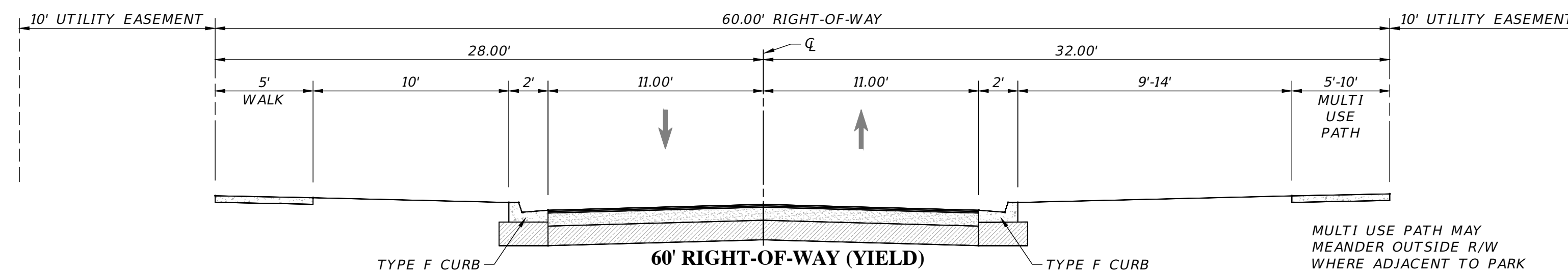
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ON-STREET PARKING
DESIGN SPEED = 10-20 MPH
SCALE: 1" = 5'



43' RIGHT-OF-WAY (YIELD)
NO ON-STREET PARKING
DESIGN SPEED = 10-20 MPH
SCALE: 1" = 5'

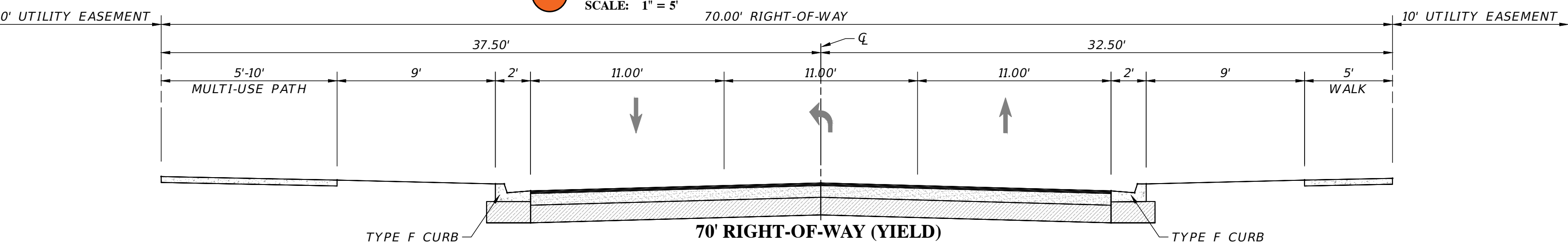


WELBILT BLVD EXTENSION
60' RIGHT-OF-WAY (SLOW)
NO ON-STREET PARKING
DESIGN SPEED = 20-25 MPH
SCALE: 1" = 5'

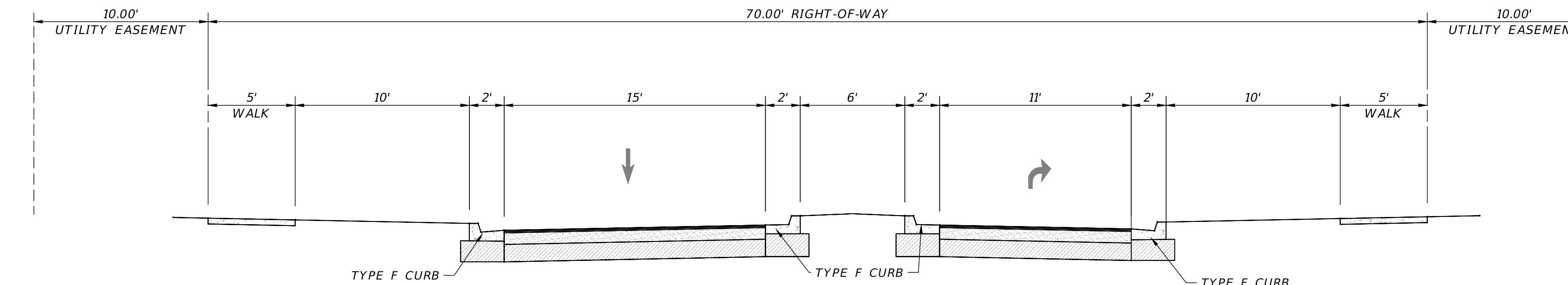
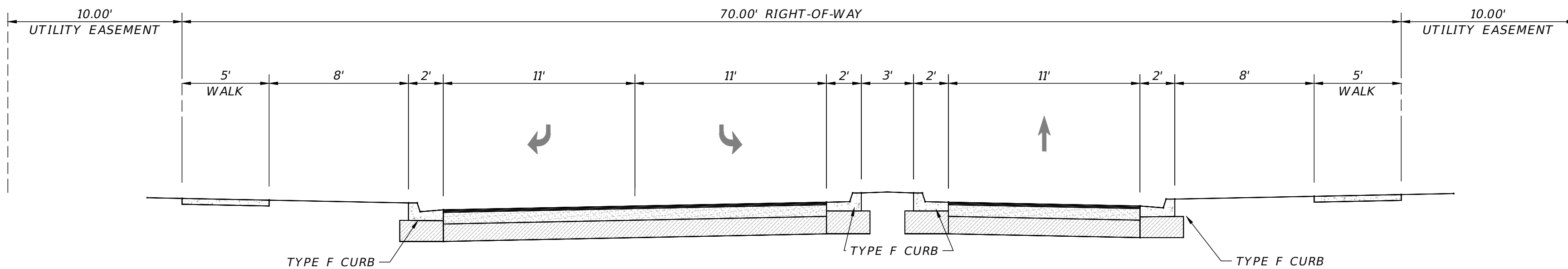


60' RIGHT-OF-WAY (YIELD)
NO ON-STREET PARKING
DESIGN SPEED = 10-20 MPH
SCALE: 1" = 5'

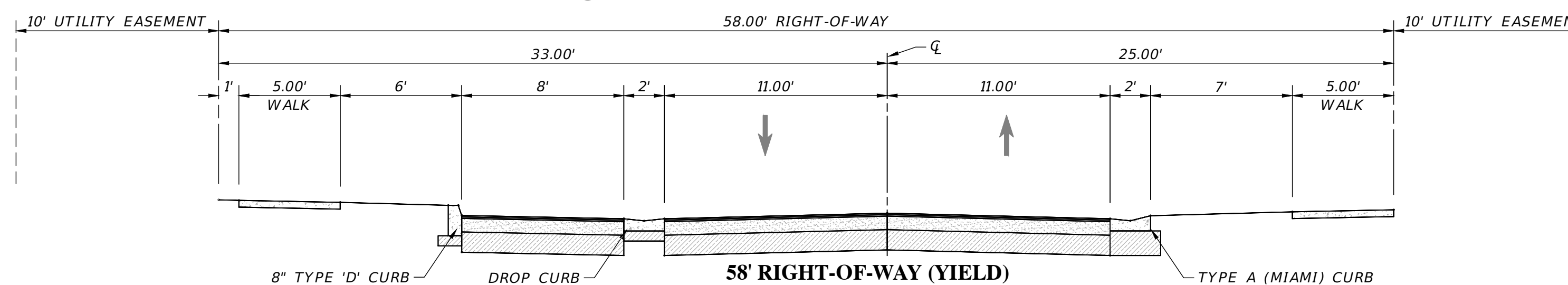
MULTI USE PATH MAY
MEANDER OUTSIDE R/W
WHERE ADJACENT TO PARK
SPACE/COMMON AREAS.



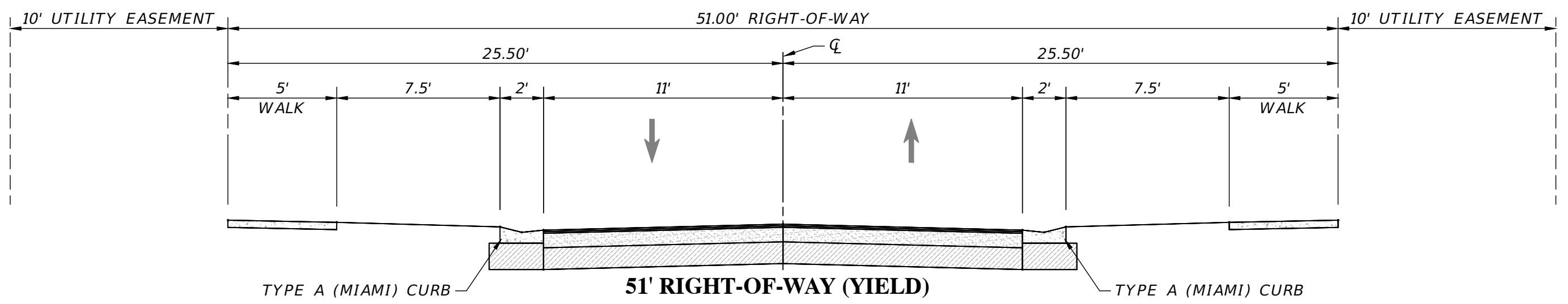
70' RIGHT-OF-WAY (YIELD)
NO ON-STREET PARKING
DESIGN SPEED = 10-20 MPH
SCALE: 1" = 5'



70' RIGHT-OF-WAY (SLOW)
NO ON-STREET PARKING
DESIGN SPEED = 30-35 MPH
SCALE: 1" = 5'

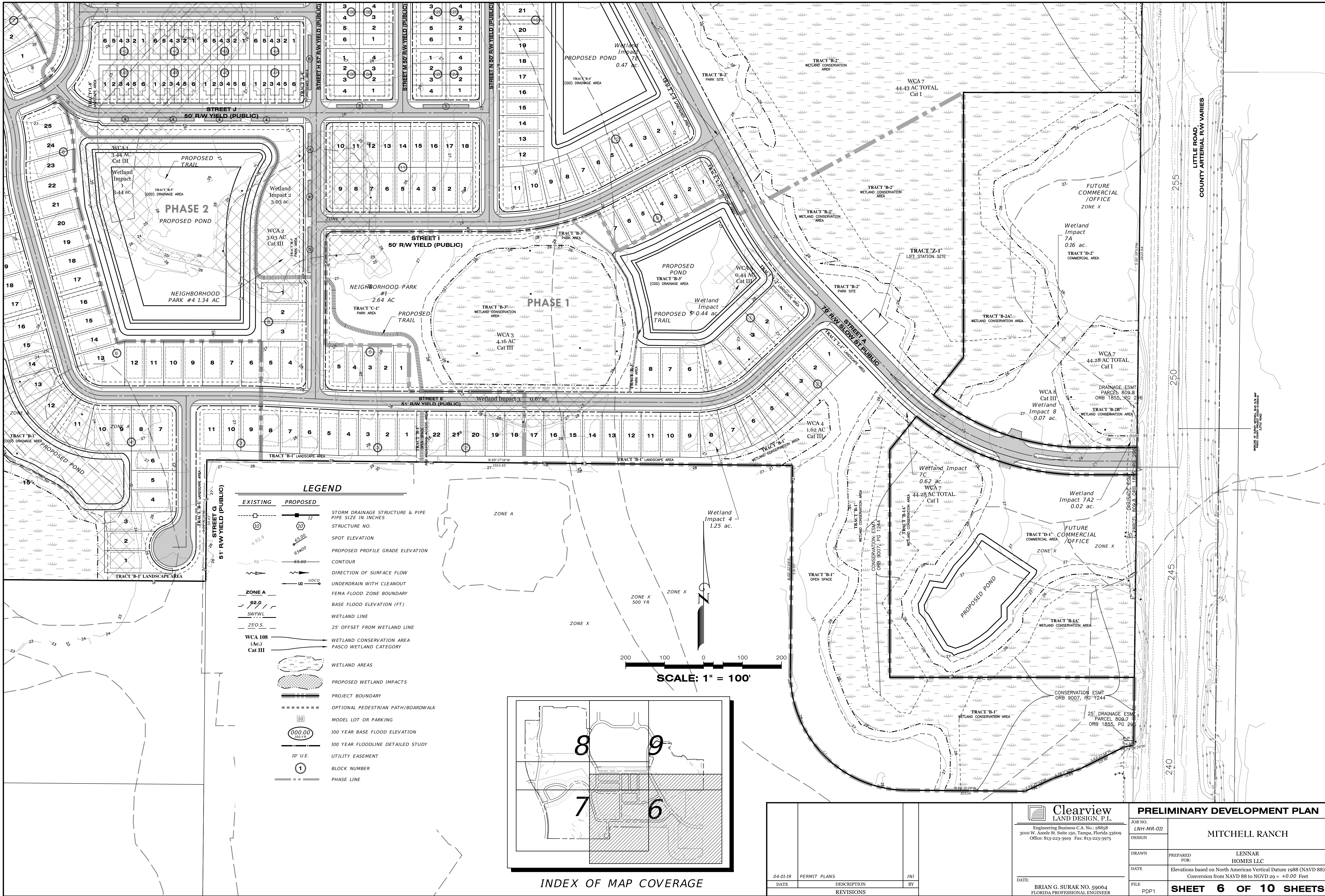


58' RIGHT-OF-WAY (YIELD)
ON-STREET PARKING
DESIGN SPEED = 10-20 MPH
SCALE: 1" = 5'




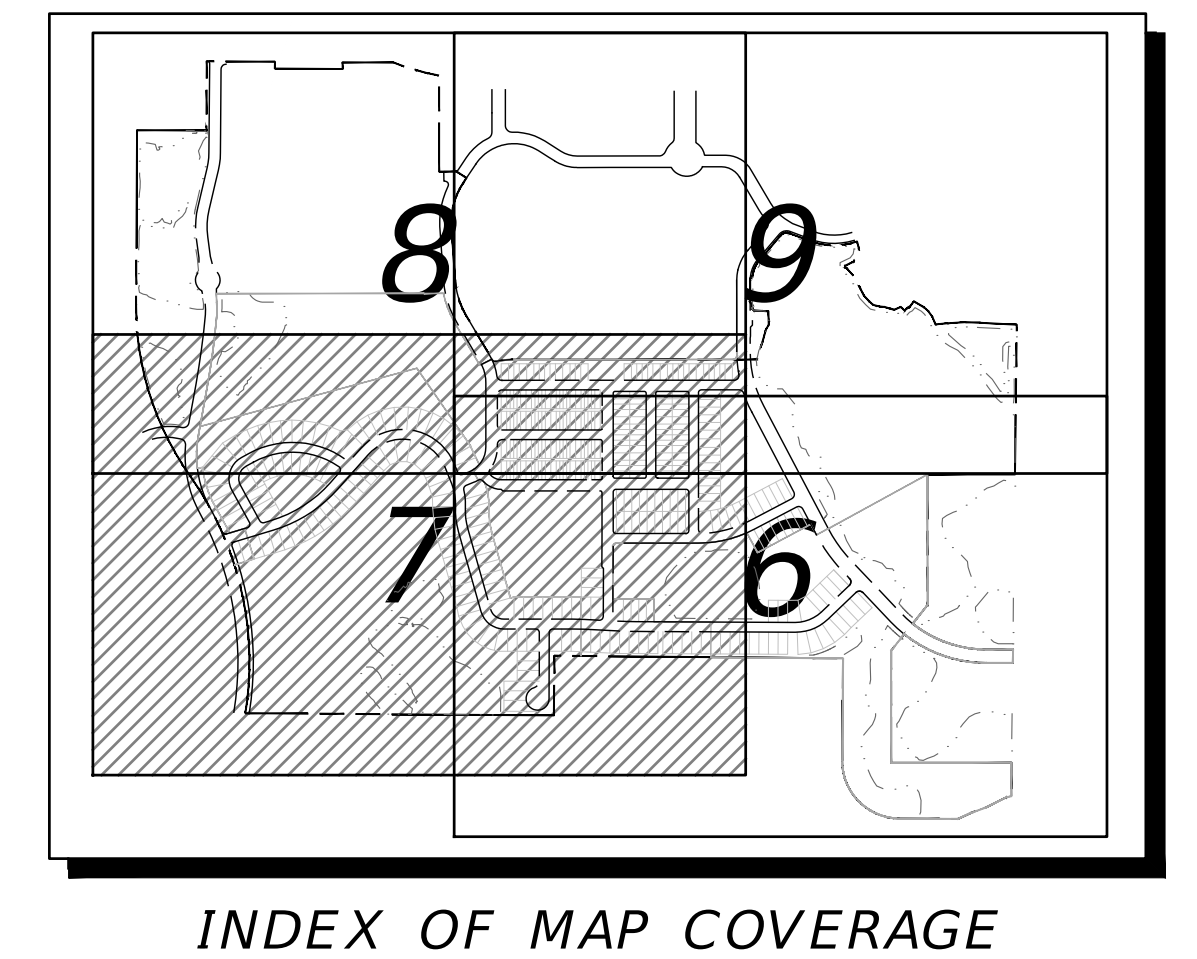
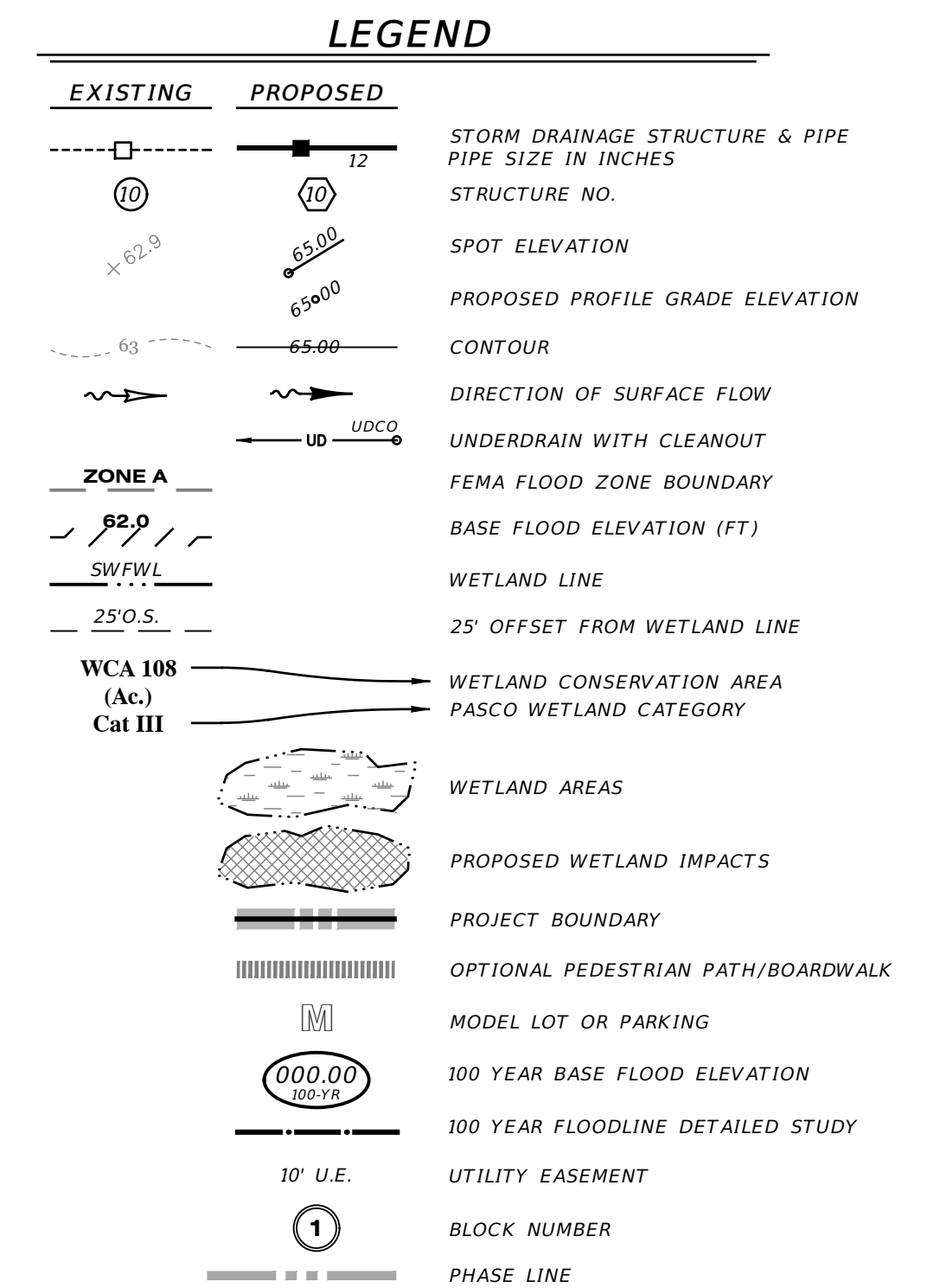
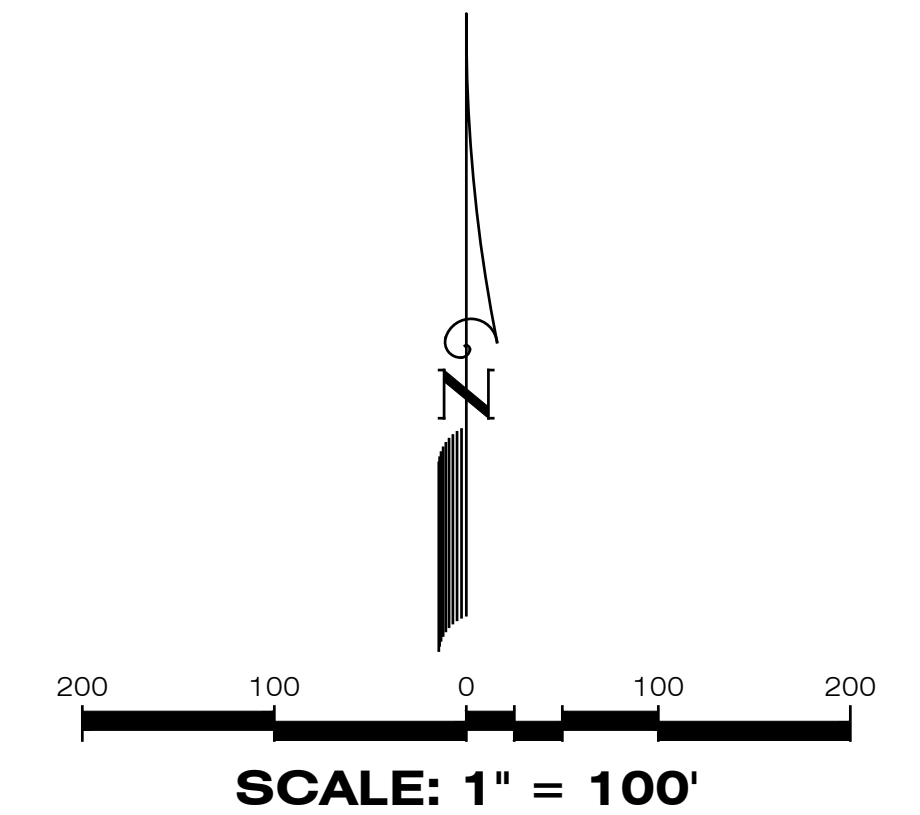
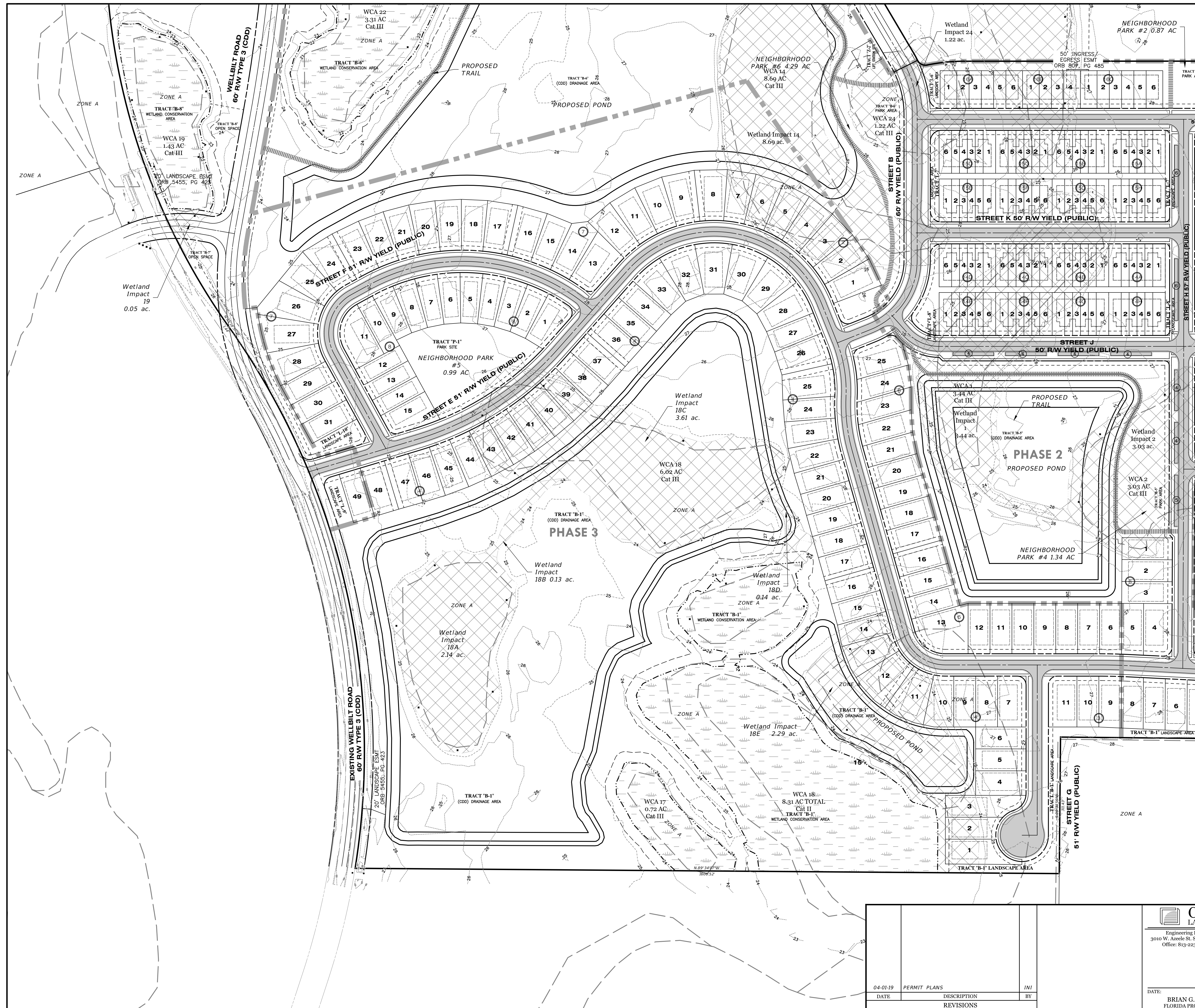
51' RIGHT-OF-WAY (YIELD)
ON-STREET PARKING
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SCALE: 1" = 5'

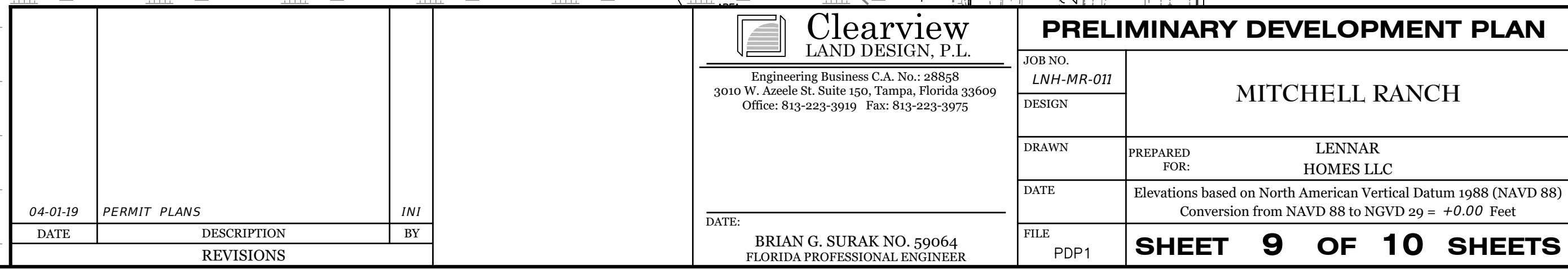
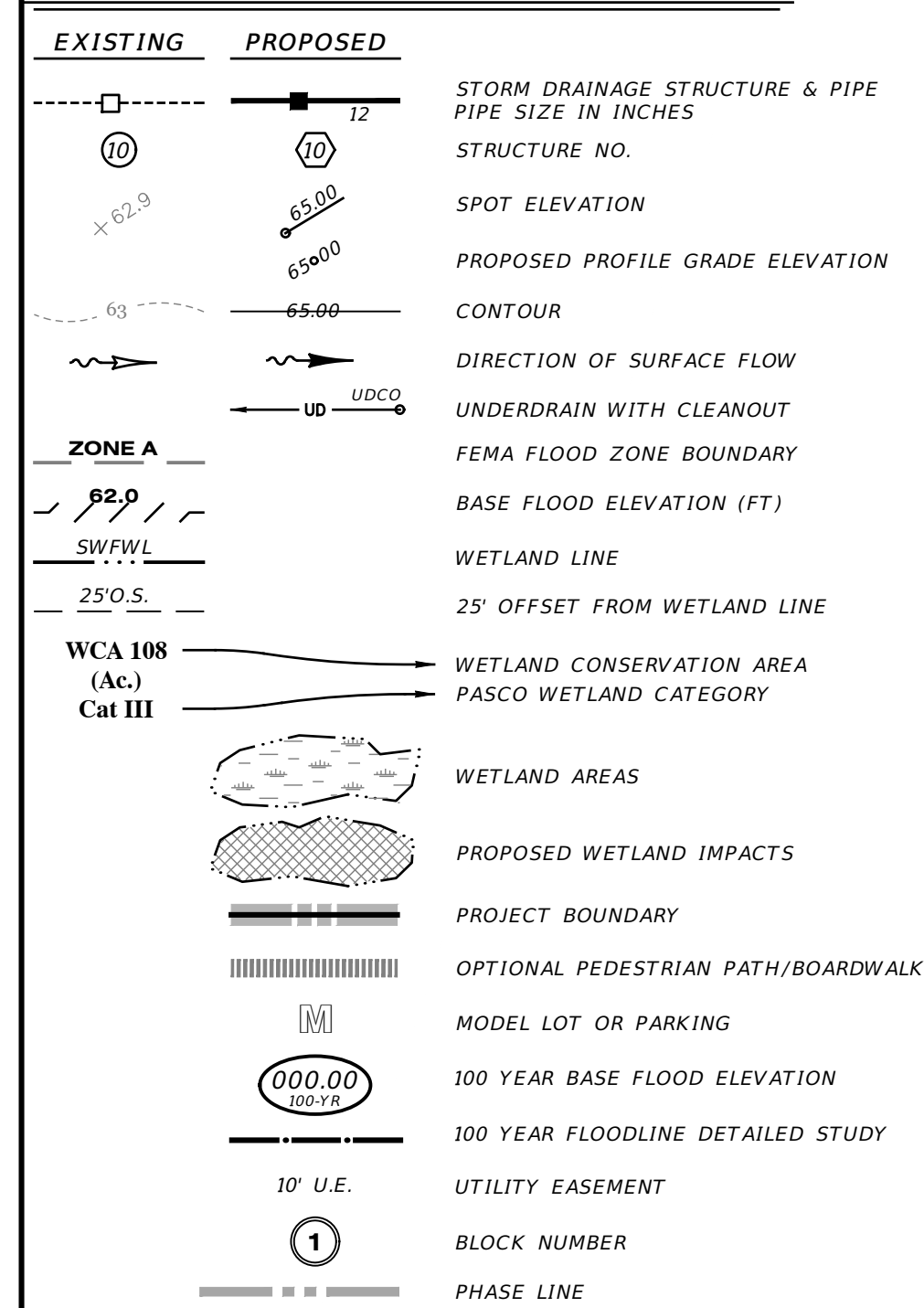
			Clearview LAND DESIGN, P.L.		ROADWAY SECTIONS	
			Engineering Business C.A. No.: 28858 3010 W. Azeele St. Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975		JOB NO. LNH-MR-011	
			BRIAN G. SURAK State of Florida, Professional Engineer, License No. 59064 This item has been digitally signed and sealed by BRIAN G. SURAK on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.		DESIGN	
			DATE: 02/28/2019 BRIAN G. SURAK NO. 59064 FLORIDA PROFESSIONAL ENGINEER		DRAWN FOR: LENNAR HOMES LLC	
					DATE Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.00 Feet	
					FILE PDP ROADSECT	
					SHEET 5 OF 10 SHEETS	



P:\MITCHELL RANCH\MITCHELL RANCH WEST\DRAWING\CONDO\DP1.DWG-6 PRELIMINARY DEVELOPMENT PLAN 2019/03/28 3:49 PM JASON DROOK

04-01-19	PERMIT PLANS	INI	<div><div></div><div>Clearview LAND DESIGN, P.L.</div></div> <div>Engineering Business C.A. No.: 28828 3010 W. Analee St. Suite 150, Tampa, Florida 33609 Office: 813-223-3919 Fax: 813-223-3975</div> <div>DATE: BRIAN G. SURAK NO. 59064 FLORIDA PROFESSIONAL ENGINEER</div>	<div>PRELIMINARY DEVELOPMENT PLAN</div> <div><div><div>JOB NO. LNH-MR-011</div><div>DESIGN</div><div>DRAWN</div><div>DATE</div><div>FILE PDP1</div></div><div><div colspan="2">MITCHELL RANCH</div><div>PREPARED FOR: LENNAR HOMES LLC</div><div>Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.00 Feet</div><div>SHEET 6 OF 10 SHEETS</div></div></div>		
DATE	DESCRIPTION	BY				
REVISIONS						
</						






[illegible]





- ASSUMPTIONS:**
1. PARKING LOT LAYOUT ASSUMES AN ARBITRARY NUMBER OF DESIRED PARKING SPACES. IF THE NUMBER OF MODELS PROPOSED REQUIRES FEWER, THE NUMBER MAY BE REDUCED IN ACCORDANCE WITH NOTES AND GRADES MUST BE PRO-RATED ACCORDINGLY. IF MORE SPACES ARE REQUIRED OR IF THE LAYOUT OF THE PROPOSED MODELS IS DIFFERENT, PROPOSED, THEY MAY BE ADDED IN ACCORDANCE WITH THE LAYOUT SHOWN, WITH GRADES PRO-RATED ACCORDINGLY.
 2. IF A SECTION OF ROADWAY FRONTING MODEL CENTER PARKING AREA IS EXTREME ($> 3\%$ LONGITUDINALLY), PARKING LOT SLOPES MAY NEED TO BE ADJUSTED OUTSIDE OF RANGES RECOMMENDED HEREON.
- ACCESSIBLE PARKING SPACE MUST STILL MEET APPLICABLE SLOPE CRITERIA.

LEGEND

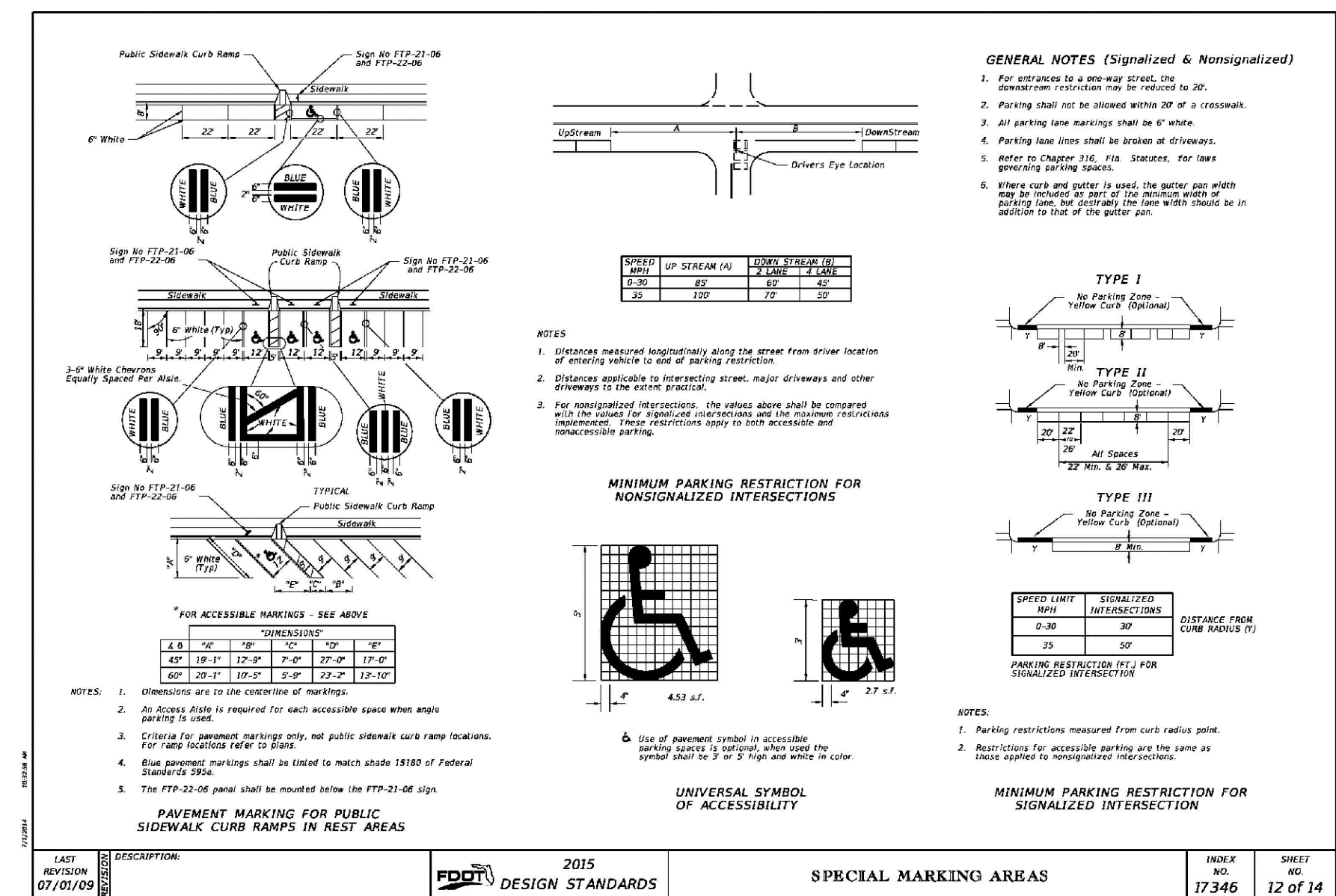
- | | | |
|---|-------|--|
|  | ----- | 4" HIGH OPAQUE BUFFER |
|  | ----- | SIDEWALK TO BE CONSTRUCTED
ON A LOT-TO-LOT BASIS WITH
MODEL HOMES |
|  | ----- | SIDEWALK TO BE CONSTRUCTED
WITH PARKING AREA |
|  | ----- | PROPOSED PAVED PARKING
MINIMUM 1½" ASPHALT (SP-9.5)
OR 4" CONCRETE (3000 PSI,
FIBER REINFORCED) |
|  | ----- | PROPOSED PAVED PARKING
6" CONCRETE (3000 PSI, FIBER
REINFORCED) |

NOTES:

3. LAND USE DESIGNATION: PD ZONING: MPUD.
4. PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF 1 PARKING SPACE PER 2,500 SQUARE FEET OF MODEL HOME.
5. A MINIMUM OF 1 HANDICAP PARKING SPACE WITH ACCESS AISLE SHALL BE PROVIDED. IT SHALL BE CONSTRUCTED PER THE DETAIL "B" THIS SHEET AND SHALL BE CLEARLY MARKED WITH SIGNAGE AND PAVEMENT MARKING AS REQUIRED.
6. PARKING AREAS SHALL BE GRADED FOR PROPER DRAINAGE AND BE MAINTAINED IN A DUST-FREE CONDITION. PARKING SHALL BE ARRANGED TO PROVIDE FOR ORDERLY AND SAFE ACCESS.
7. SIDEWALKS REQUIRED BY THE MODEL CENTER PLANS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE FIRST MODEL CENTER HOME.
8. SEWER SHALL BE CONNECTED TO THE RASH SEWER SYSTEM. POTABLE WATER, SEWAGE, FIRE SERVICE AND ELECTRICAL WILL BE SUPPLIED BY THE UTILITY INFRASTRUCTURE. REFER TO CONSTRUCTION PLANS FOR LOCATIONS AND DETAILS.
9. PROPOSED BUFFERING OF PARKING FROM NON-MODEL CENTER AREAS SHALL BE 5' WIDE AND SHALL BE A PLANTING REACHING 4' HEIGHT AND 100% OPACITY. NOTE THAT ADDITIONAL BUFFERING MAY BE REQUIRED BEYOND THAT WHICH IS DEPICTED HEREON DEPENDING ON LOCATION OF ADJACENT NON-MODEL CENTER AREAS.
10. EROSION CONTROL FOR MODEL HOME LOTS SHALL BE PROPOSED BY AND INSTALLED BY HOME BUILDERS AS PART OF THE INDIVIDUAL BUILDING PERMITS.
11. THE PADS SHOWN HEREON ARE INTENDED TO INDICATE THE MAXIMUM BUILDING ENVELOPE THAT THE LOT WILL ACCOMMODATE AT A MINIMUM SETBACKS. ACTUAL HOUSE FOOTPRINTS WILL BE DIFFERENT, BUT SHALL FIT WITHIN THESE MAXIMUM BUILDING ENVELOPES.
12. LIGHTING SHALL BE DESIGNED TO AVOID SPILL-OVER TO ADJOINING RESIDENCES AND THE PUBLIC RIGHT-OF-WAY.
13. CONCRETE PAVEMENT USED AS ACCESSIBLE PARKING ACCESS AISLES AND CONCRETE APRON FROM EDGE OF PAVEMENT IN RIGHT-OF-WAY SHALL BE 6" THICK, 3000 PSI CONCRETE.
14. THE SIDEWALKS SHOWN HEREON ARE INTENDED TO INDICATE THAT AN ADA ACCESSIBLE TRAVERSABLE PATH WILL BE ACCOMMODATED FOR ACCESS TO THE PROPOSED BUILDINGS. ACTUAL SIDEWALK ALIGNMENT COULD BE DIFFERENT. ONSITE SIDEWALKS ARE OPTIONAL; BUILDER MIGHT OPT TO CONNECT DIRECTLY TO SIDEWALK WITHIN THE LOCAL STREETS. SIDEWALK GRADING AND/OR ALIGNMENT MAY NEED TO BE FIELD ADJUSTED TO MEET ADA SLOPE CRITERIA (LONGITUDINAL SLOPE MAY NOT EXCEED 5% WITHOUT HANDRAILS AND CROSS-SLOPE SHALL NOT EXCEED 2%).
15. THE APPROPRIATE PARKING LOT GRADING PLAN BASED UPON THE SELECTED LOT SIZE AND PARKING CONFIGURATION. A SINGLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 44 FEET (20' STALL PLUS 24' DRIVE AISLE), AND A DOUBLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 64 FEET (TWO 20' STALLS PLUS A 24' DRIVE AISLE), SO PARKING LOTS MIGHT OCCUPY 2 LOTS DEPENDING ON LOT WIDTH AND DESIRED CONFIGURATION.
16. THE MINIMUM WIDTH OF LOT THAT CAN ACCOMMODATE A SINGLE-LOADED PARKING LOT ON A SINGLE LOT IS 50 FEET.
17. THE MINIMUM WIDTH LOT THAT CAN ACCOMMODATE A DOUBLE-LOADED PARKING LOT ON A SINGLE LOT IS 70 FEET.
18. PERIMETER LOT GRADES AND ADJACENT LOT PAD GRADES SHALL BE AS SHOWN ON THE APPROVED SUBDIVISION CONSTRUCTION PLANS.
19. DISTANCE BETWEEN EDGE OF PARKING LOT AND LOT LINE VARIES. THE MINIMUM DISTANCE IS 3 FEET.
20. PARKING LOT EDGE OF PAVEMENT ELEVATION GUIDELINES: (A) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL, AT A MINIMUM, BE 0.10 FEET ABOVE THE BOTTOM ELEVATION OF THE ADJACENT SIDE YARD SWALE; (B) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL NOT EXCEED AN ELEVATION THAT CAUSES THE SLOPE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF THE SIDE YARD SWALE TO BE STEEPER THAN 15 VERTICAL -TO- 10 HORIZONTAL.
21. DRIVEWAY THROAT GRADING GUIDELINES: THE LONGITUDINAL PARKING LOT SLOPE (ALONG THE INVERT OF THE INVERTED CROWN SECTION) SHALL GENERALLY BE 1%. HOWEVER, THE 20-FOOT THROAT FROM RIGHT-OF-WAY TO FIRST PARKING STALL, SHALL BE ADJUSTED SUCH THAT THE GRADE MATCHES THAT OF AN FDOT-STANDARD FLARED TURN-OUT PER INDEX 515. THE SLOPE OF THE THROAT SHALL NOT EXCEED 9%, AND CARE SHALL BE TAKEN NOT TO EXCEED A SLOPE OF 2% IN ANY DIRECTION IN THE ADJACENT HANDICAP AISLE. FURTHER, THROUGH THE 20-FOOT THROAT, THE PAVEMENT SHALL TRANSITION FROM INVERTED CROWN TO SLANTED IN THE DIRECTION OF AND AT THE EQUIVALENT SLOPE OF THE ROADWAY.
22. DRIVEWAY THROAT GRADING SHALL BE ADJUSTED TO MEET THE FDOT INDEX 515 AND SHALL GENERALLY FOLLOW THE GRADING PROFILE FOR "SIDEWALK WITH UTILITY STRIP ON 0.02 SLOPE."
23. GRADING OF THE PARKING LOT AREA SHALL BE PER THE SUBDIVISION CONSTRUCTION PLANS WHEN THE LOT IS CONVERTED TO A HOME SITE




NOTE: ASPHALT IS SHOWN FOR PICTORAL PURPOSES ONLY. PARKING LOT SHALL BE "DUST-FREE" PER THE PASCO COUNTY LAND DEVELOPMENT CODE. DUST-FREE SURFACES MAY INCLUDE ASPHALT, CONCRETE, MULCH, ASPHALT MILLINGS, OR BRICK PAVERS, EXCEPT THAT HANDICAP PARKING SPACES SHALL BE A HARD, WHEELCHAIR-TRANSVERSABLE SURFACE, SUCH AS CONCRETE, ASPHALT, OR PAVERS.



NOTES:

1. ACCESS AISLE AND PARKING SPACE TO BE STRIPED AND MARKED PER FOOT INLET 17346.
2. REFER TO SECT. 11-4.6 OF THE FLORIDA BUILDING CODE FOR PARKING AND PASSENGER LOADING ZONES.
3. REFER TO SECT. 46.2 OF THE FLORIDA BUILDING CODE FOR LOCATION, ACCESSIBLE PARKING SPACE, AND ACCESSIBLE PASSENGER LOADING SPACE. ALL BE LOCATED ON THE SHORTEST SAFELY ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE.
4. STANDARD SPACES
5. RECOMMENDED ACCESSIBLE PARKING SPACE DESIGN IS GENERALIZED AND IS INCLUDED HEREIN FOR INFORMATIONAL PURPOSES. THE SPECIFIC INFORMATIONATION FOR THE DESIGN OF ACCESSIBLE PARKING SPACE AND ACCESS AISLE IS INCORPORATED INTO THE ADJACENT SIDEWALK. ALL STRIPING AND DIMENSIONAL SPECIFICATIONS ON THIS DETAIL SHALL APPLY.

				 <div> Clearview LAND DESIGN, P.L.L.C. </div>		MODEL PARKING LOT DETAIL			
				Engineering Business C.A. No.: 28858 3010 W. Azalee St. Suite 150, Tampa, Florida 33609 Office: 813-223-3949 Fax: 813-223-3975		JOB NO. LNH-MR-01		MITCHELL RANCH	
				BRIAN G. SURAK State of Florida, Professional Engineer, License No. 59064 This item has been digitally signed and sealed by BRIAN G. SURAK on the date indicated herein. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.		DESIGN SURAK			
				DATE: 02/28/2019		DRAWN DROOR		PREPARED FOR: LENNAR HOMES LLC	
04-01-19		PERMIT PLANS				DATE 03-01-2019		Elevations based on North American Vertical Datum 1988 (NAVD 88) Conversion from NAVD 88 to NGVD 29 = +0.00 Feet	
DATE		DESCRIPTION		BY		FILE MODEL PARKING		SHEET 10 OF 10 SHEETS	
		REVISIONS							